



City of Farmers Branch

City Hall
13000 Wm. Dodson Pkwy
Farmers Branch, TX 75234

Electronic Agenda Packet - Final Planning and Zoning Commission

Monday, November 14, 2016

7:00 PM

City Hall

Study Session Meeting to be held at 6:00 PM in Study Session Room

Hard copies of the full Planning and Zoning Commission agenda packet are accessible the Friday prior to every regularly scheduled meeting at the following locations:

- 1) Manske Library
- 2) City Hall

Additionally, the agenda packet is available for download from the City's web site at www.farmersbranchtx.gov. This download may be accessed from any computer with Internet access, including computers at the Manske Library and in the lobby of City Hall.

Any individual who wishes to speak on an agenda item should fill out a Registration Form for Appearance before the Planning and Zoning Commission (white card located in the back of the Council Chambers) and submit the completed card to City Administration member prior to the start of the meeting.

A. STUDY SESSION

[TMP-1986](#) Discuss regular agenda items.

[TMP-1988](#) Receive an update and report on the status of the revised Comprehensive Zoning Ordinance.

B. REGULAR AGENDA ITEMS

[TMP-1989](#) Consider approval of the Attendance Matrix for the Planning and Zoning Commission as presented and take appropriate action.

[TMP-1992](#) Consider approval of the October 24th, 2016 Planning and Zoning Commission minutes and take appropriate action.

[R2016-113](#)

Consider a request from CADG Mercer Crossing Holdings LLC for approval of a Detailed Site Plan for a 35.7 acre tract located west of Mercer Crossing Lake and south of Wittington Place and take appropriate action.

[R2016-114](#)

Consider a request from CADG Mercer Crossing Holdings LLC for approval of a Detailed Site Plan for a 16.1 acre tract located east of Luna Road and south of Wittington Place and take appropriate action.

C. PUBLIC HEARING

[TMP-1993](#)

Conduct a public hearing and consider a request from Luna Taps for a Specific Use Permit to allow the sale of alcoholic beverages in a qualified restaurant at 1801 Royal Lane, Suite 700 and take appropriate action.

D. ADJOURNMENT

Farmers Branch City Hall is wheelchair accessible. Access to the building and special parking are available at the main entrance facing William Dodson Parkway. Persons with disabilities planing to attend this meeting who are deaf, hearing impaired or who may need auxiliary aids such as sign interpreters or large print, are requested to contact the City Secretary at (972) 919-2503 at least 72 hours prior to the meeting.

Certification

I certify that the above notice of this meeting was posted at least 72 hours prior to the scheduled meeting time, in accordance with the Open Meetings Act, on the bulletin board at City Hall.

Approved to Post: _____
City Administration

Stamp:

Posted by: Alexis Jackson

Date Posted: _____



City of Farmers Branch

Farmers Branch City Hall
13000 Wm Dodson Pkwy
Farmers Branch, Texas
75234

Staff Report

File Number: TMP-1986

Agenda Date: 11/14/2016

Version: 1

Status: Study Session

In Control: Planning and Zoning Commission

File Type: Report

Discuss regular agenda items.



City of Farmers Branch

Farmers Branch City Hall
13000 Wm Dodson Pkwy
Farmers Branch, Texas
75234

Staff Report

File Number: TMP-1988

Agenda Date: 11/14/2016

Version: 1

Status: Study Session

In Control: Planning and Zoning Commission

File Type: Report

Receive an update and report on the status of the revised Comprehensive Zoning Ordinance.



City of Farmers Branch

Farmers Branch City Hall
13000 Wm Dodson Pkwy
Farmers Branch, Texas
75234

Staff Report

File Number: TMP-1989

Agenda Date: 11/14/2016

Version: 1

Status: Regular Agenda

In Control: Planning and Zoning Commission

File Type: Matrix

Consider approval of the Attendance Matrix for the Planning and Zoning Commission as presented and take appropriate action.

BACKGROUND:

As stated in the City of Farmers Branch Ethics Handbook for Elected Officials & Advisory Board Members, all appointed members should make every effort to attend all regularly scheduled meetings.

DISCUSSION:

Any member failing to attend three (3) consecutive meetings without being excused for good cause may be removed by City Council. By excusing an absence, the Commissioner is not penalized with using one of the three unexcused absences allowed in the Charter. A Comprehensive Attendance Matrix has been developed to keep record of these excused and unexcused absences.

Planning and Zoning Commission
2016 Attendance Record

	Blackson	Brewer	De Los Santos	Hardie	Moore	O'Quinn	Driskill	Plunk	Yarbrough
Jan 11	♦	♦	♦	♦		♦			
Jan 25	♦	♦	♦	♦		♦			
Feb 8	♦	♦	♦	♦		♦			
Feb 22	♦	♦	♦	♦		♦			
Mar 14	✓	♦	✓	♦		♦			
Apr 11	✓	♦	♦	♦		♦			♦
Apr 25	♦	♦	♦	♦		✓			♦
May 9	♦	♦	♦	♦		♦			♦
May 23									
Jun 13	♦	♦	♦	♦		♦			✓
Jun 27	♦	♦	♦	♦		✓			♦
Jul 11	♦	♦	✓	♦	♦	♦		♦	♦
Jul 25	♦	♦	✓	♦	♦	♦		♦	♦
Aug 8	♦	✓	✓	♦	♦	✓		♦	♦
Aug 22	♦	♦	♦	♦	♦	♦	♦	♦	♦
Sep 12	♦	♦	♦	♦	♦	♦	♦	✓	♦
Sep 26									
Oct 10	✓	♦	♦	♦	♦	♦	♦	♦	♦
Oct 24	♦	♦	♦	♦	♦	♦	♦	♦	✓
Nov 14									
Nov 28*									
Dec 12									
Dec 27*									

♦ Present ✓ Excused ✗ Unexcused



City of Farmers Branch

Farmers Branch City Hall
13000 Wm Dodson Pkwy
Farmers Branch, Texas
75234

Staff Report

File Number: TMP-1992

Agenda Date: 11/14/2016

Version: 1

Status: Regular Agenda

In Control: Planning and Zoning Commission

File Type: Minutes

Consider approval of the October 24th, 2016 Planning and Zoning Commission minutes and take appropriate action.



City of Farmers Branch

City Hall
13000 Wm. Dodson Pkwy
Farmers Branch, TX 75234

Meeting Minutes

Planning and Zoning Commission

Monday, October 24, 2016

7:00 PM

City Hall

Study Session Meeting to be held at 5:30 PM in Study Session Room

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- 1) Manske Library
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A. STUDY SESSION

Absent 1 - Commissioner Tim Yarbrough

Present 8 - Commissioner Cory Plunk, Commissioner Bronson Blackson, Vice Chair Jason O'Quinn, Chair Nancy Hardie, Commissioner David Moore, Commissioner Chris Brewer, Commissioner Sergio De Los Santos, and Commissioner Michael Driskill

[TMP-1958](#)

Presentation from Legal on Ethics and Open Meetings Act.

[TMP-1957](#)

Discuss regular agenda items.

B. REGULAR AGENDA ITEMS

Chairperson Hardie called the meeting to order at 7:01 pm.

[TMP-1960](#)

Consider approval of the Attendance Matrix for the Planning and Zoning Commission as presented and take appropriate action.

A motion was made by Vice Chair O'Quinn, seconded by Commissioner

Brewer, that this Report be recommended for approval. The motion carried by the following vote:

Aye: 8 - Commissioner Cory Plunk, Commissioner Bronson Blackson, Vice Chair Jason O'Quinn, Chair Hardie, Commissioner David Moore, Commissioner Chris Brewer, Commissioner Sergio De Los Santos and Commissioner Michael Driskill

[TMP-1959](#)

Consider approval of the October 10th, 2016 Planning and Zoning Commission minutes and take appropriate action.

A motion was made by Commissioner Moore, seconded by Commissioner Driskill, that the Minutes be approved. The motion carried by the following vote:

Aye: 8 - Commissioner Cory Plunk, Commissioner Bronson Blackson, Vice Chair Jason O'Quinn, Chair Hardie, Commissioner David Moore, Commissioner Chris Brewer, Commissioner Sergio De Los Santos and Commissioner Michael Driskill

[16-PL-05](#)

Consider a request for final plat approval of Komerica Addition, Lot 1, Block A.

Alexis Jackson, Planning Manager, gave a brief presentation on the case. Komerica Building Maintenance is the owner of the 3.45 acre tract of land located at 13150 Senlac Drive. The property was previously platted and is part of a remaining portion of land, platted in 1984. The owners must re-plat the property for the purpose of dedicating an easement needed for the water line loop to serve the property.

Vice-Chair O'Quinn inquired if there was any update on the adjacent property's parking issues and concerns. There was some on-street parking occurring along Senlac.

Mrs. Jackson replied that she believed the issues were resolved.

A motion was made by Commissioner Blackson, seconded by Commissioner Brewer, that this Plat be recommended for approval. The motion carried by the following vote:

Aye: 8 - Commissioner Cory Plunk, Commissioner Bronson Blackson, Vice Chair Jason O'Quinn, Chair Hardie, Commissioner David Moore, Commissioner Chris Brewer, Commissioner Sergio De Los Santos and Commissioner Michael Driskill

[16-PL-07](#)

Consider a request for final plat approval of Metropolitan Southeast Addition, Lots 1 and 2, Block A.

Alexis Jackson, Planning Manager, gave a brief presentation on the case. 4100 Spring Valley LLC and Comerica Bank each own portions of 5.91 acre tract of land. The property is platted and the owners desire to re-plat the property into two separately owned, legally platted lots under a new subdivision name.

Commissioner Blackson asked about the current state of construction on the site.

Gary Allen, with Southlake General Contractors, approached the podium and replied that they are currently in the process of remodeling the bank located on the site.

A motion was made by Commissioner Brewer, seconded by Vice Chair O'Quinn, that this Plat be recommended for approval. The motion carried by the following vote:

Aye: 8 - Commissioner Cory Plunk, Commissioner Bronson Blackson, Vice Chair Jason O'Quinn, Chair Hardie, Commissioner David Moore, Commissioner Chris Brewer, Commissioner Sergio De Los Santos and Commissioner Michael Driskill

C. PUBLIC HEARING

15-SU-16

Conduct a public hearing and consider a request from Luis Carrasco / Arbors and Patios for a Specific Use Permit for outdoor storage and display and an associated Site Plan located at 13500 and 13512 McClintock Street and take appropriate action.

Andy Gillies, Community Services Director, gave a brief presentation on the case. The site is located on the eastern portion of McClintock Street, between Richland and Fruitland Avenues. The tract of land is comprised of 0.356 acres and contains two lots. This site is located within the Planned Development District No. 70 (PD-70), General Business Subdistrict. Currently, there is an existing, 2,000 square foot, one-story, metal building located on the site. PD-70 requires a Specific Use Permit for outdoor storage and display. The applicant is proposing to add additional parking as well as an outdoor display area or showroom for his existing arbors and patios business. The applicant is also planning to improve the existing building with a new facade.

Commissioner De Los Santos asked how many parking spaces are required.

Mr. Gillies replied that 8 spaces are required and the applicant is providing 16 parking spaces.

Commissioner Plunk asked about the ingress and egress of the site based on the proposed parking configuration.

Mr. Gillies replied that an employee or customer would be able to use either driveway to gain access to the site and there was no separation between the two lots.

Chairperson Hardie asked if the applicant wished to make a presentation or add any comments.

Luis Carrasco, 13500 McClintock, approached the podium and elaborated on the parking configuration and mentioned that even though it is a smaller lot, he still was able to accomplish his business goals while meeting the city's requirements.

Commissioner Driskell inquired about the number of employees.

Mr. Carrasco replied that he has 16 employees.

Chairperson Hardie remarked that this is a Public Hearing and invited anyone to come forward to comment. There being none, she closed the Public Hearing.

A motion was made by Commissioner Moore, seconded by Commissioner Blackson, that this Specific Use Permit be recommended for approval. The motion carried by the following vote:

Aye: 8 - Commissioner Cory Plunk, Commissioner Bronson Blackson, Vice Chair Jason O'Quinn, Chair Hardie, Commissioner David Moore, Commissioner Chris Brewer, Commissioner Sergio De Los Santos and Commissioner Michael Driskill

D. ADJOURNMENT

A motion was made by Commissioner Blackson, seconded by Commissioner De Los Santos, that the meeting be adjourned at 7:25pm. The motion carried by the following vote:

Aye: 8 - Commissioner Cory Plunk, Commissioner Bronson Blackson, Vice Chair Jason O'Quinn, Chair Hardie, Commissioner David Moore, Commissioner Chris Brewer, Commissioner Sergio De Los Santos and Commissioner Michael Driskill

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Certification

I certify that the above notice of this meeting was posted at least 72 hours prior to the scheduled meeting time, in accordance with the Open Meetings Act, on the bulletin board at City Hall.

Approved to Post: _____
City Secretary

Stamp:

Posted By: Sara Egan

Date Posted: _____



City of Farmers Branch

Farmers Branch City Hall
13000 Wm Dodson Pkwy
Farmers Branch, Texas
75234

Staff Report

File Number: R2016-113

Agenda Date: 11/14/2016

Version: 2

Status: Regular Agenda

In Control: Planning and Zoning Commission

File Type: Resolution

Consider a request from CADG Mercer Crossing Holdings LLC for approval of a Detailed Site Plan for a 35.7 acre tract located west of Mercer Crossing Lake and south of Wittington Place and take appropriate action.

BACKGROUND:

Earlier this year the City approved Planned Development No. 99. This zoning district established a new master planned community containing 267 acres extending from Mercer Crossing Lake to the levee west of Mercer Parkway. Within this new community the developer, Centurion American, proposes to create six (6) new single family residential neighborhoods. This proposed Detailed Site Plan is the first of these new residential neighborhoods. This neighborhood, to be known as "Brighton", contains 35.7 acres and proposes to create 91 single family lots. The common amenity center for all the Mercer Crossing neighborhoods is included with this site plan.

RECOMMENDATION:

Staff finds that this proposed Detailed Site Plan is in compliance with the Conceptual Site Plan and development standards included and outlined in Planned Development No. 99 (PD-99) as described in Ordinance No. 3359.

Staff recommends approval of this Detailed Site Plan.

ACTIONS:

1. Motion to recommend approval of Detailed Site Plan as outlined and presented at this meeting.
2. Motion to recommend denial of the Detailed Site Plan as outlined and presented at this meeting.
3. Motion to recommend approval of the Detailed Site Plan with the following modifications.....
4. Motion to continue discussion of this case to the next regular meeting.

ATTACHMENTS:

1. Location Map
2. Aerial Map
3. Staff Report
4. PD-99 Conceptual Site Plan

5. Overall Mercer Crossing Plan
6. Neighborhood Map for Mercer Crossing
7. Site Plan
8. Mercer Crossing Pattern Book
9. Landscape Plan
10. Wall Details
11. House Plan Examples

LUNA RD.

WITTINGTON PLACE

Subject Site

WITTINGTON PLACE

PD-99

LUNA RD.

MERCER PKWY (PROP)

PARK WEST

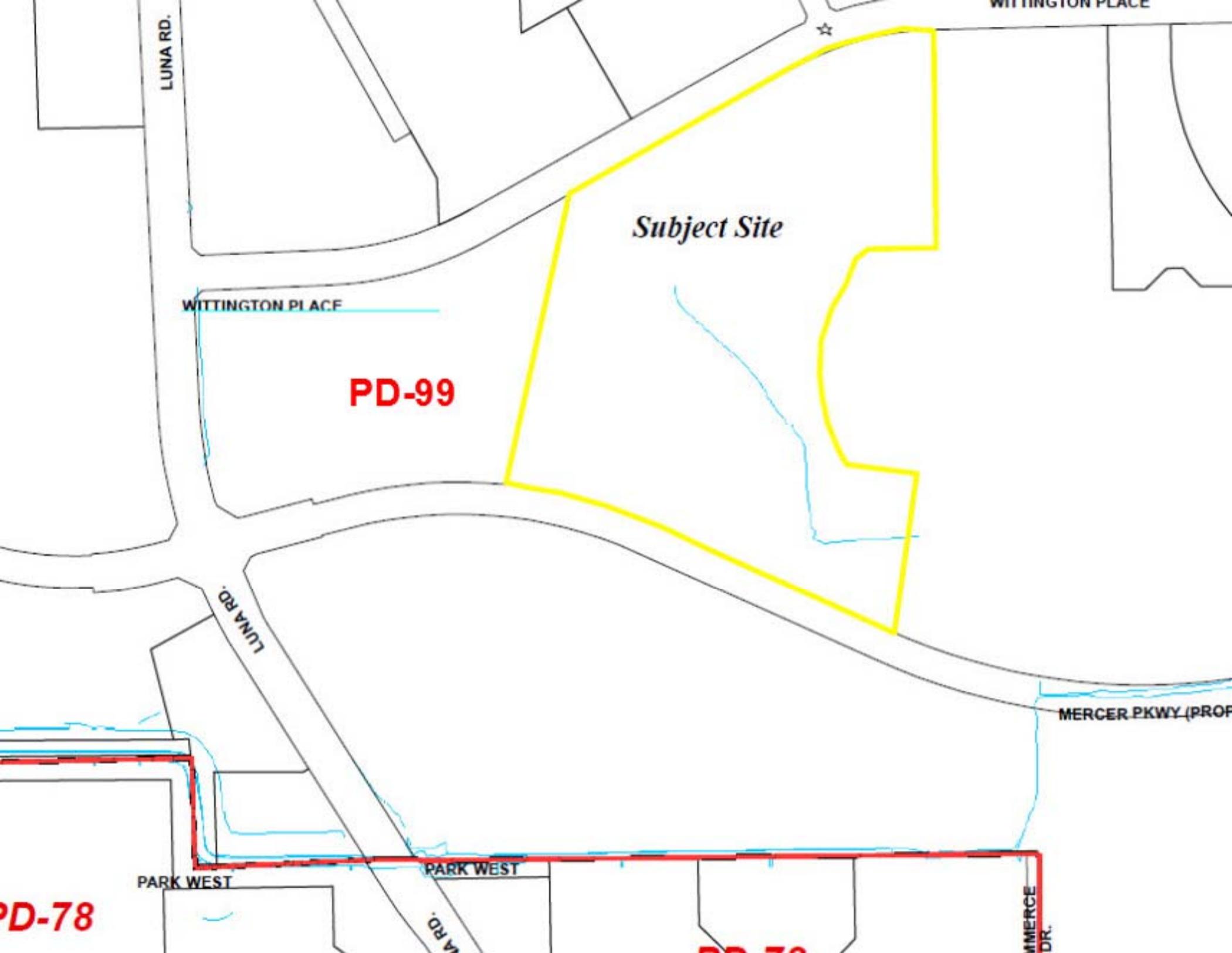
PARK WEST

PD-78

LUNA RD.

PD-79

MERCER DR.





 Parcel Property Boundaries
 City Limit

16-SP-12 - Aerial Map

Brighton at Mercer Crossing



Various official and unofficial sources were used to gather this information. Every effort was made to ensure the accuracy of this data, however, no guarantee is given or implied as to the accuracy of said data. For pictorial reference only.

0 462.5 925
 Feet  NORTH
 Date: 10/14/2016

STAFF REPORT

Case Number: 16-SP-12
Request: Detailed Site Plan for a single family detached neighborhood in PD-99
Address: West of Mercer Crossing Lake and south of Wittington Place
Lot Size: Approximate 35.7 Acres
Petitioner: Centurion American (CADG Mercer Crossing Holdings LLC)

Summary

Site design: *Single family detached residential community*
Units: *91 buildable lots, ranging from 50'x130' to 60'x105'*

Existing Conditions

In March of this year, the City approved Planned Development No. 99 (PD-99). This PD established a new master planned community containing residential, retail and entertainment land uses. This new master planned community contains approximately 267 acres and extends westward from Mercer Crossing Lake to the Valwood Improvement levee system west of Mercer Parkway. A Conceptual Site Plan was included within this new PD. This Conceptual Site Plan outlined the general land use areas and street network to be used for new community. Within this Conceptual Plan six single family neighborhoods were established. This Detailed Site Plan request represents one of those six single family neighborhoods. (See Neighborhood Map)

The site is located west of Mercer Crossing Lake and immediately south of Wittington Place. (See Aerial Map)

For this 35.7 acre property, the applicant, CADG Mercer Crossing Holdings LLC (a subsidiary of Centurion American) has proposed to develop a single family detached residential community containing approximately 91 buildable lots. This development is proposed to be constructed in one phase.

The site is bordered to the west by another 16 acre future single family detached neighborhood (to be known as Ashington). To the south of this site is proposed Mercer Parkway and a 26 acre tract entitled for medium density multi-family development. To the east is the future street, Chartwell Crest, and the Mercer Crossing Lake. To the north of the site is Wittington Place and several existing office towers. (See Location Map).

Site Design

This Detailed Site Plan is for a proposed single family neighborhood to be known as "Brighton". Brighton is the easternmost residential community being developed by the applicant, Centurion

American (CADG). Brighton will contain 35.7 acre total acres. It will be composed of 91 single family residential lots. Fourteen (14) of these lots will be front loaded (garages facing the street) and back up to the long linear park to the west. These are the only front loaded lots proposed within the Mercer Crossing community, and will be at least 50' wide and 130' in depth. The remaining 77 lots are rear loaded (driveways and garages facing the alleyway). These rear loaded lots range in width from 84' to 60'. The depth of these lots range from 179' to 105'. All lots within the Brighton neighborhood meet or exceed 6,300 square feet in total area.

The Brighton neighborhood is designed to take full advantage of the newly expanded Mercer Crossing Lake to the east. Chartwell Crest will serve as the main north/south street through the community. The only entry points into the Brighton neighborhood will be along Chartwell Crest. The northern entry will be at Wittington Place, and the southern entry at future Mercer Parkway. This extension of Chartwell Crest will be a 2 lane street with new homes on the western side and a linear park system along the eastern side. This eastern linear park will include both landscaped open space and a lakeside trail connection.

Mercer Crossing Amenity Center

East of Chartwell Crest will also contain the proposed Mercer Crossing Amenity Center for all six (6) proposed single family neighborhoods. This center will be developed on a 4.2 acre lot overlooking the lake. The main building will consist of approximately 6,000 square feet and include a large community room, fitness center and kitchen area. A community pool (approximately 4,500sf), large outdoor entertainment patio, fire pit area, are included amenities located between the building and the lake.

A new 12' wide concrete trail will also extend along the eastern edge of Chartwell Crest. This trail will connect to the large trail loop that will eventually loop around Mercer Crossing Lake.

In the center of the proposed Brighton neighborhood is another park consisting of approximately 3.8 acres and a new water feature (small pond). Also within this new park will be a new playground and 6' wide concrete walking paths.

Mercer Crossing Design Guidelines (Pattern Book)

As part of the overall design of the Mercer Crossing mixed use development, CADG has developed a comprehensive set of Design Guidelines outlining the basic theme and character of the new community. This guideline document, or Pattern Book, includes design advice regarding such items as, building architectural style (commercial and residential), street design, open space and parks design, trails, streetscape improvements, sign typology and standards, and wall materials and treatments. (see Mercer Crossing Pattern Book)

The proposed architectural theme of the Mercer Crossing community is "Texas Tutor". This unique style is combination of key English Tudor building elements (such as field stone, large wooden timbers, and steep multi-gabled roof lines), with contemporary Texas style elements like brick and stone exteriors, metal roofs, large porches and oversized windows. Texas Tudor weaves these two vernacular styles into unified look for both the residential and commercial

subdistricts within Mercer Crossing. This comprehensive Pattern Book gives all potential builders and property owners guidance on how to integrate their specific project into the Mercer Crossing community

House Designs and Elevations

As mentioned earlier, all lots within the Brighton neighborhood are at least 6,300 square feet in area. After the required setbacks, the buildable area will exceed 3,800 square feet. Two homebuilders, First Texas Builders and Oakdale Homes, plan to buy all the lots within Brighton. Both builders are aware of the architectural design requirements within Mercer Crossing. Although the use of common Texas Tudor materials and architectural elements is encouraged, the Mercer Crossing design guidelines demand a variety of house designs be assembled throughout the neighbor. For example, no house plan and exterior can be repeated within 4 lots of the original design.

Both builders are proposing to build homes containing at least 2,500 square feet of living space. Most of the proposed house plans are 2 story in height (40' maximum), and contain more than 3,200 square feet. The estimated cost of these homes will range from \$400,000 to \$800,000. (See House Plan Examples)

Parking

All lots within Brighton will require at least a 2 car garage. In addition, the design of the driveway will include at least 2 more on site surface parking spaces. Most of the lots (77), have rear loaded driveways. In addition, on street parking will be allowed on most local streets within Mercer Crossing to help accommodate visitor parking needs. Only 14 lots are designed to allow front loaded driveways. These lots are located in the westernmost portion of the Brighton neighborhood, and back up to another linear park to the west. These 14 front loaded lots are deeper than the rear loaded lots (typically 135' in depth).

Parking for the Mercer Crossing Amenity Center is provided within the 4.2 acre site, as well as on-street parking along Chartwell Crest.

Parks, Open Space and Trails

There are three designated parks or landscaped open spaces within the Brighton neighborhood, containing over 11 acres (approximately 31% of the total area). Two of these spaces are located on the east side of Chartwell Crest, adjacent to Mercer Crossing Lake. The southernmost of these two parcels includes the Amenity Center. A 12' wide concrete trail winds its way through both of these landscaped open spaces from Wittington Place to future Mercer Parkway. Along this new trail will be streetscape improvements such as benches, streetlights, exercise stations, drinking fountains, and dog stations. New canopy trees will also be installed to provide shade and color along the trail.

The third parcel is a more traditional park located on the west side of Chartwell Crest directly facing the neighborhood homes. This 3.8 acre park will include a small pond and a playground,

as well as a 6' wide concrete walking path around the perimeter. In addition, there are several small remnant parcels within Brighton which will serve as small landscaped pocket park areas or trail connections. (See Landscape Plan).

A high priority has been placed on pedestrian connectivity throughout the proposed new Mercer Crossing community. A comprehensive trail network system has been integrated into each of the proposed residential neighborhoods, tying them all together. The Brighton neighborhood has a 12' trail proposed along the eastside of Chartwell Crest along Mercer Crossing Lake. Another 12' wide trail will extend along the northern side of Mercer Parkway. An 8' wide trail will extend along the southern side of Wittington Place. Another 8' trail located in the center of Brighton will connect the neighborhood with another linear park located to the west. All local streets will have 5' wide sidewalks.

All parks, landscaped open space and trails will be maintained by the Mercer Crossing Homeowners Association (HOA).

Signage

CADG has developed a comprehensive signage typology for all of the Mercer Crossing community, both commercial and residential. Within Brighton, on the southeast corner of the Chartwell Crest and Wittington Place intersection an overall Mercer Crossing community sign and entry tower are proposed. On the southwest corner of this intersection a proposed Brighton neighborhood sign is to be included into the community wall. Another such Brighton sign is proposed on the northwest corner of the Chartwell Crest and Mercer Crossing intersection. (See Signage Details in Landscape Plan and Pattern Book)

Walls

To help buffer the residential neighborhoods throughout the Mercer Crossing community, a special network of masonry walls has been designed. These masonry walls will follow the old English Tudor style, and be composed of both stone and brick. Special accent portions of the wall located at points of high visibility will be composed of stone, while other wall sections will be composed of a brick "thinwall" design (no precast concrete panels). A concrete foundation (designed by a structural engineer) will be poured for the base of all masonry wall sections. All masonry walls will be at least 6' in height. (See Wall Sections in Landscape Plan).

All maintenance of the masonry walls and neighborhood signage will be responsibility of the Mercer Crossing Homeowners Association (HOA).

Streets

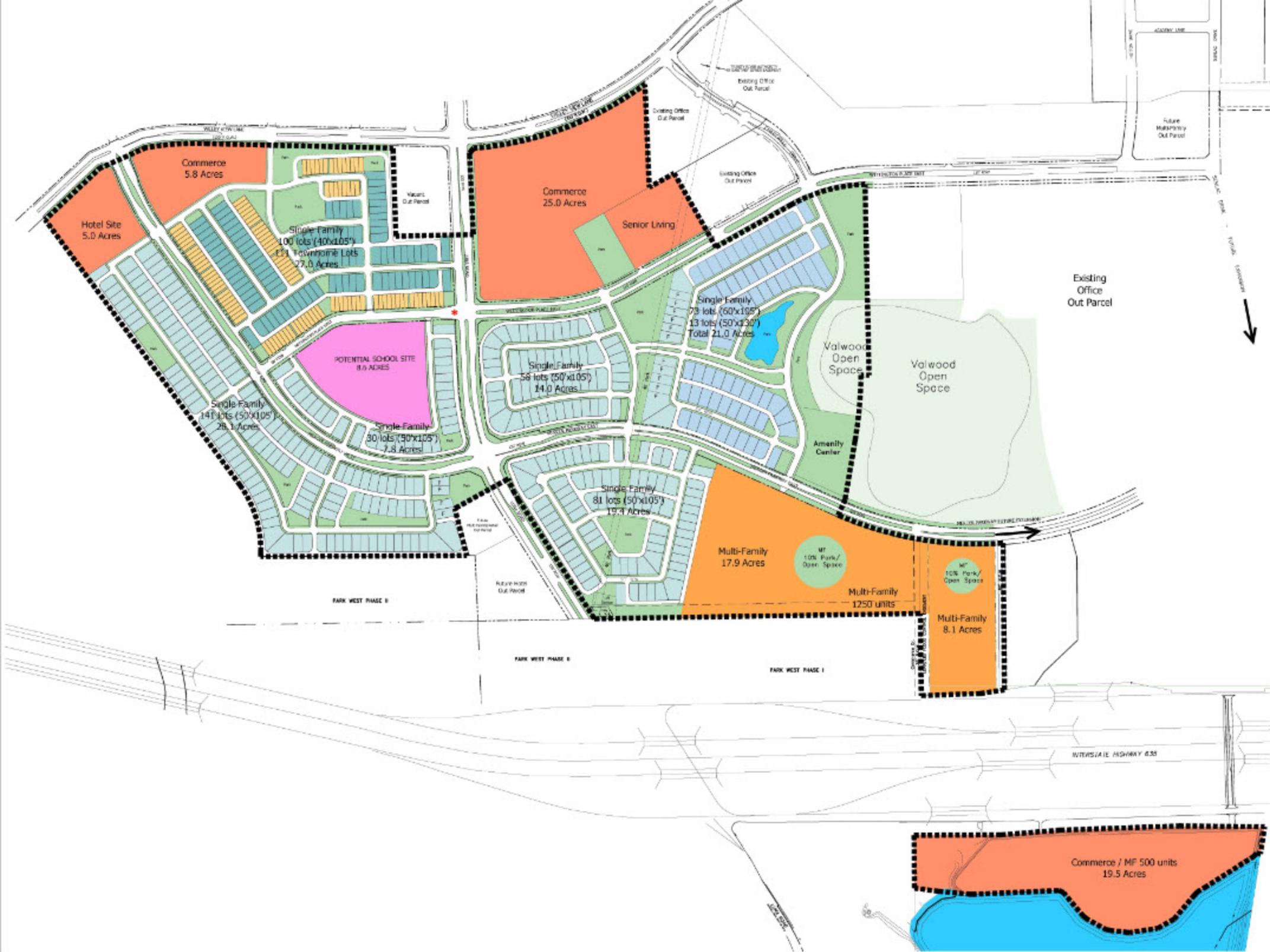
As mentioned earlier, Chartwell Crest will be extended southward and serve as the primary local street connection to the Brighton neighborhood. Four (4) additional local streets are proposed within the Brighton neighborhood: Prescott Place, Hanover Court, Brighton Place, and Bramshaw Trail. All local streets are designed to be 31' in width, and allow on street parking in

most areas. A series of three (3) alleys will also serve the neighborhood. These alleys will be 12' wide paved concrete.

All new street pavement (from curb to curb) will be maintained by the City upon acceptance of the street. All sidewalks and alleys will be maintained by the Mercer Crossing HOA. All street trees, landscaping, and street hardscape will be maintained by the Mercer Crossing HOA.

Conclusion

The Brighton neighborhood proposed with this Detailed Site Plan is consistent with Planned Development No. 99 (PD-99) and the associated Conceptual Site Plan described in Ordinance No. 3359. Staff recommends approval of this proposed site plan.



Legend

Single Family 60'x105' lots	73 lots
Single Family 50'x130' lots	13 lots
Single Family 50'x105' lots	310 lots
Single Family 40'x105' lots	100 lots
Townhomes 25'x90' lots	111 lots
Multi-Family (Includes O.S.)	26.0 Acres
Commer/ Hotel/Sr. Living	55.3 Acres
Potential School Site	8.6 Acres
Park / Linear Park Amenity Center/ Valwood OS (inside)	26.4 Acres
Valwood Open Space (Outside)	31.2 Acres
Water Area	

Zoning Boundary **■■■■■■**

F Front-Load Lot

* Final alignment of Wittington and Luna intersection to be addressed during street design.

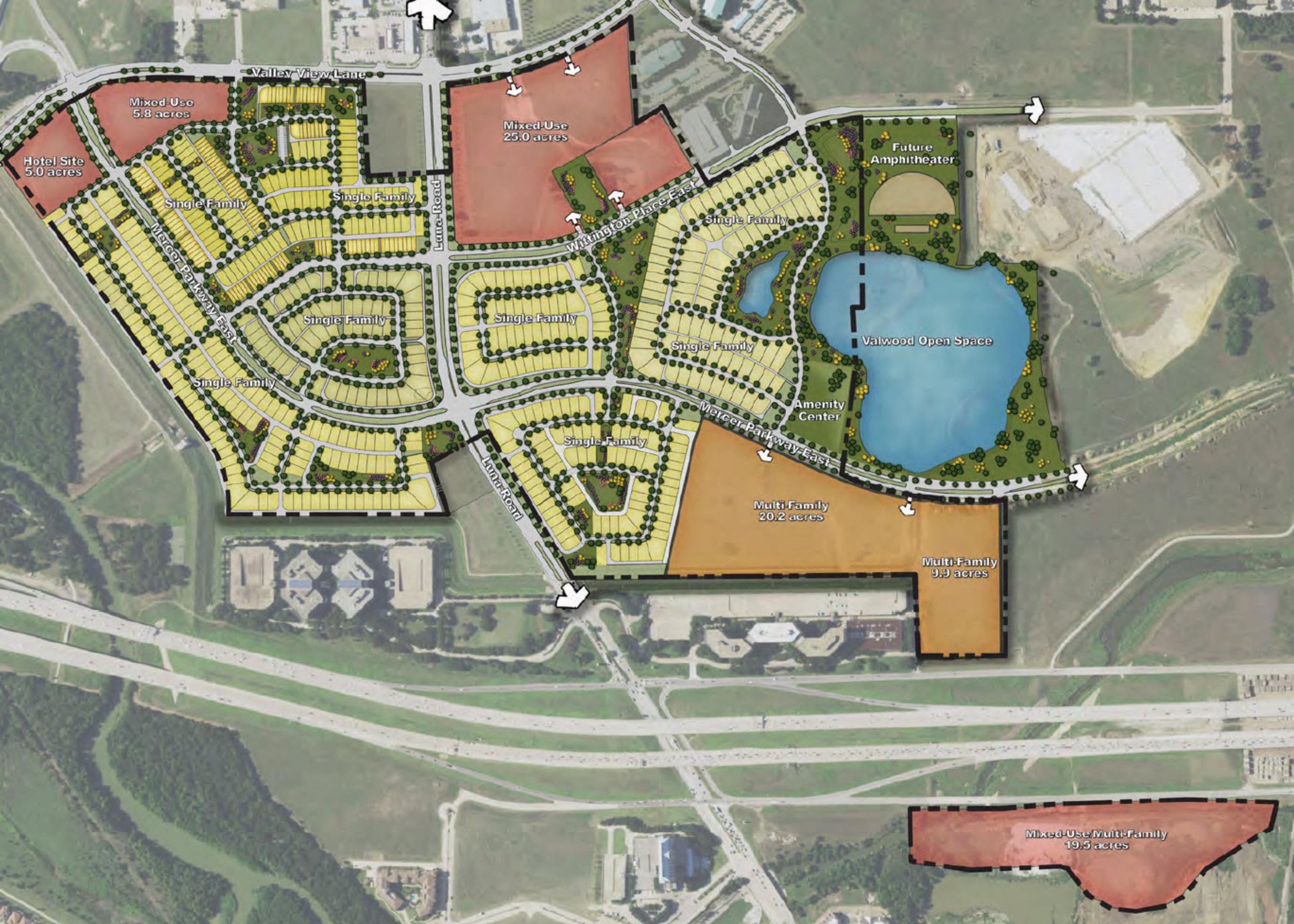
NOTICE:
Acreages, land uses, lot yields, road alignments, park/open spaces and trails are illustrative in nature and may change due to final surveys, field conditions and environmental findings, utility, final site plans, and City of Farmers Branch and other governmental agency reviews and approvals. Ion Design Group, LLC is not responsible for loss of lots and land use changes due to these conditions. Owner retains right to modify land-use allocations and densities by ±10%.

0 200 400

Mercer Crossing Layout
CITY OF FARMERS BRANCH DALLAS COUNTY TEXAS

Ion Design Group
10700 Texas Hills Area
Suite 100
Dallas, Texas 75243
Date: 10/15/2019
214-220-2676

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Hotel Site
5.0 acres

Mixed-Use
5.8 acres

Mixed-Use
25.0 acres

Single Family

Valwood Open Space

Future Amphitheater

Amenity Center

Multi-Family
20.2 acres

Multi-Family
9.9 acres

Mixed-Use Multi-Family
19.5 acres

Valley View Lane

Luna Road

Wittington Place East

Mercer Parkway East

Luna Road

Mercer Parkway East



WINDERMERE

VERWOOD

AMESBURY

ASHINGTON

BRIGHTON

COVENTRY

Detailed Site Plan for

WATER, SANITARY SEWER, PAVING & DRAINAGE IMPROVEMENTS

To Serve

MERCER CROSSING BRIGHTON ADDITION

CITY OF FARMERS BRANCH DALLAS COUNTY, TEXAS

Metes & Bounds

POD C - 35.715 ACRES

Being a tract of land out of the Francis Miller Survey, Abstract No. 926 and situated in the City of Farmers Branch, Dallas County, Texas, and surveyed by Miller Surveying, Inc. of Hurst, Texas in November 2015, said tract being a portion of Block D, Westside Addition Section 1, an addition to the City of Farmers Branch according to the plat recorded as Document No. 200600172708 of the Real Property Records of Dallas County, Texas, Texas and being more particularly described by metes and bounds as follows:

Commencing at a 1/2 inch "MILLER 5665" capped steel rod for the most westerly northwest corner of said Block D, said rod being the southeasterly end of a corner clip for the easterly right-of-way line of Luna Road and the southerly right-of-way line of Wittington Place; Thence North 42 degrees 27 minutes 18 seconds East with said corner clip a distance of 35.25 feet to a 1/2 inch capped steel rod found for the northeasterly corner thereof; Thence North 87 degrees 37 minutes 23 seconds East with the northerly boundary line of said Block D and with said southerly right-of-way line a distance of 399.76 feet to a 1/2 inch "MILLER 5665" capped steel rod set for the beginning of a curve to the left with a radius of 1096.32 feet and whose chord bears North 74 degrees 07 minutes 23 seconds East at 511.86 feet; Thence easterly continuing with said northerly boundary line and said southerly right-of-way line and with said curve along an arc length of 516.63 feet to a 1/2 inch "MILLER 5665" capped steel rod set for the end of said curve; Thence North 60 degrees 37 minutes 25 seconds East continuing with said northerly boundary line and said southerly right-of-way line a distance of 291.61 feet to a 1/2 inch "MILLER 5665" capped steel rod set for the point of beginning of the tract described herein;

Thence North 60 degrees 37 minutes 23 seconds East continuing with said northerly boundary line and said southerly right-of-way line a distance of 795.82 feet to a 1/2 inch "MILLER 5665" capped steel rod set for the beginning of a curve to the right with a radius of 947.93 feet and whose chord bears North 74 degrees 30 minutes 11 seconds East at 454.80 feet;

Thence easterly continuing with said northerly boundary line and said southerly right-of-way line and with said curve along an arc length of 459.28 feet to a 1/2 inch "MILLER 5665" capped steel rod set for the end of said curve;

Thence South 01 degrees 11 minutes 26 seconds East a distance of 686.08 feet to a 1/2 inch "MILLER 5665" capped steel rod set;

Thence North 89 degrees 58 minutes 29 seconds West a distance of 214.63 feet to a 1/2 inch "MILLER 5665" capped steel rod set for the beginning of a curve to the left with a radius of 544.64 feet and whose chord bears South 06 degrees 33 minutes 46 seconds West at 660.64 feet;

Thence southerly with said curve along an arc length of 709.82 feet to a 1/2 inch "MILLER 5665" capped steel rod set for the end of said curve;

Thence 81 degrees 18 minutes 40 seconds East a distance of 239.55 feet to a 1/2 inch "MILLER 5665" capped steel rod set for the beginning of a curve to the right with a radius of 2173.01 feet and whose chord bears South 07 degrees 47 minutes 44 seconds West at 147.02 feet;

Thence southerly with said curve along an arc length of 147.05 feet to a 1/2 inch "MILLER 5665" capped steel rod set for the end of said curve;

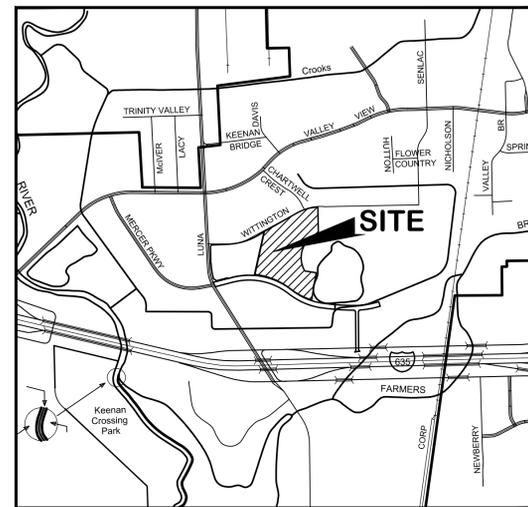
Thence South 09 degrees 37 minutes 24 seconds West a distance of 466.36 feet to a 1/2 inch "MILLER 5665" capped steel rod set for the beginning of a curve to the right with a radius of 1350.00 feet and whose chord bears North 60 degrees 00 minutes 00 seconds West at 471.11 feet;

Thence westerly with said curve along an arc length of 473.53 feet to a 1/2 inch "MILLER 5665" capped steel rod set for the beginning of a curve to the left with a radius of 1450.00 feet and whose chord bears North 67 degrees 02 minutes 06 seconds West at 851.94 feet;

Thence westerly with said curve along an arc length of 864.70 feet to a 1/2 inch "MILLER 5665" capped steel rod set for the end of said curve;

Thence North 12 degrees 25 minutes 13 seconds East a distance of 775.55 feet to a 1/2 inch "MILLER 5665" capped steel rod set;

Thence North 11 degrees 52 minutes 52 seconds East a distance of 149.74 feet to the point of beginning and containing 35.715 acres of land, more or less.



VICINITY MAP
(NOT TO SCALE)

11.03.2016

Sheet List Table

Sheet Title
C0.01 COVER
C1.01 SITE PLAN
C4.01 EXISTING DRAINAGE AREA MAP
C4.02 PROPOSED DRAINAGE AREA MAP
C4.03 STORM SEWER PLAN
C5.01 UTILITY PLAN
L9.01 LANDSCAPE PLAN

BRIGHTON - 35.715 ACRES
14 LOTS - 50'x130' FRONT LOAD
77 LOTS - 60'x105' REAR LOAD
OPEN SPACE - 11.80 ACRES IN EIGHT HOA LOTS

PROPERTY OWNER
CADG MERCER HOLDINGS, LLC
1800 Valley View Lane
Suite 400
Farmers Branch, TX 75234
214.287.9009
Contact: Michael Beaty

ENGINEER
ION DESIGN GROUP, LLC F-6701
7075 Twin Hills Ave
Suite 350
Dallas, TX 75231
214.370.3470 Ph
Contact: Bryan Klein

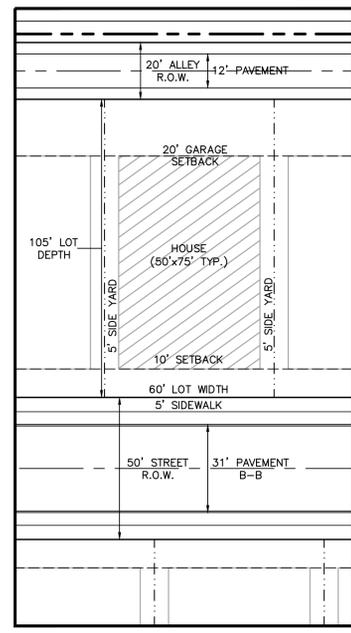
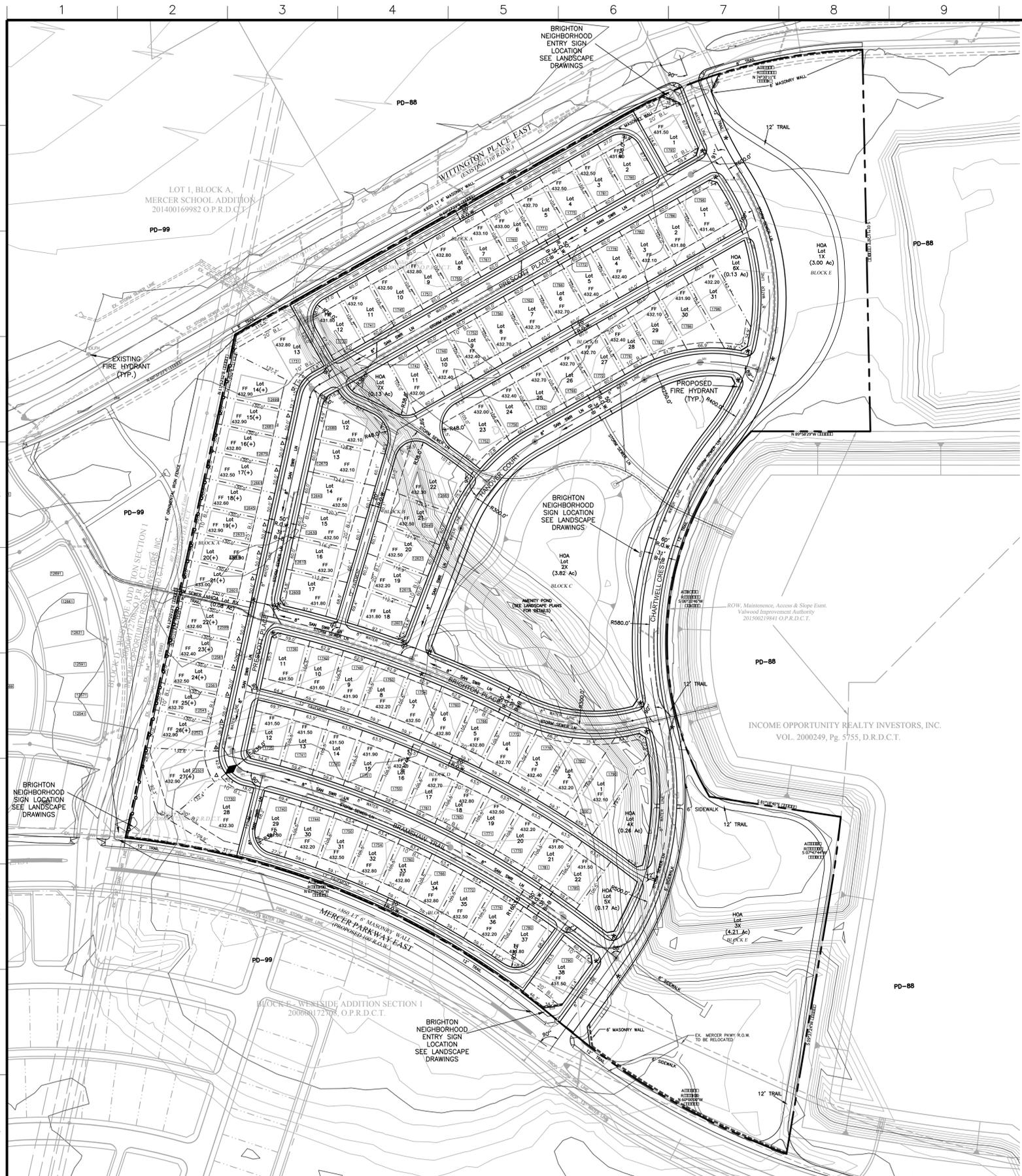
SURVEYOR
MILLER SURVEYING, INC.
430 Mid Cities Blvd.
Hurst, TX 76054
817.577.1052 Ph
817.577.0972 Fx
Contact: Jason Rawlings

Ion Design Group

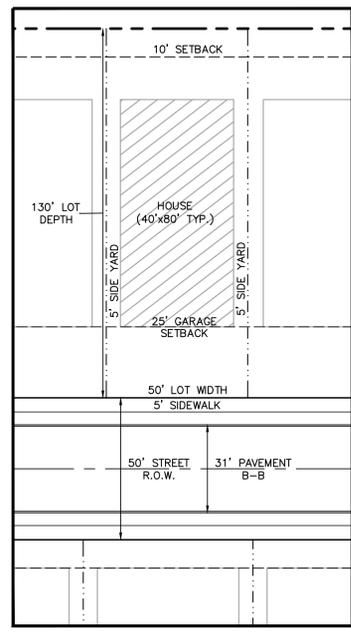
7075 Twin Hills Ave
Suite 350
Dallas, Texas 75231
Firm TX F6701
214.370.3470 Ph

6004.00 MERCER CROSSING BRIGHTON ADDITION

LAYOUT: C0.01 COVER PLOTTED: Thursday, November 3, 2016 11:54:33 AM BY: FRANCISCO P.L. SCALE: 1:1 SAVED: 11/3/2016 11:54 AM BY: FRANCISCO Z:\PROJECTS\6004.00 CENTURION MERCER CROSSING BRIGHTON ADDITION\C0.01 COVER.DWG



PROPOSED 60' REAR-LOADED LOT STANDARD



PROPOSED 50' FRONT-LOADED LOT STANDARD

!! CAUTION !!
 UNDERGROUND UTILITIES ARE LOCATED ON THIS SITE. AT LEAST 48-HOURS PRIOR TO ANY EXCAVATION, CONTACT THE TEXAS EXCAVATION SAFETY SYSTEM (TESS) TO LOCATE ALL UNDERGROUND UTILITIES IN THE AREA.
 1-800-DIG-TESS
 (1-800-344-8377)
 WWW.DIGTESS.ORG

- NOTES**
- ALL EXISTING UTILITIES SHALL BE PLACED UNDERGROUND.
 - ALL PROPOSED WALLS AND SIDEWALK ALIGNMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH LANDSCAPE DRAWINGS AND MAY VARY FROM THOSE SHOWN ON THIS SITE PLAN.

- LEGEND**
- PROPERTY LINE
 - - - RIGHT-OF-WAY
 - . - . LOT LINE
 - - - LOT SETBACK
 - - - WATER MAIN
 - - - SANITARY SEWER MAIN
 - - - STORM SEWER LINE
 - - - MASONRY WALL
 - * BARRIER FREE RAMP
 - - - ORNAMENTAL IRON FENCE
 - △ Lot
 - △ No(+)

- BENCHMARKS**
- BM #1
 Cross cut on the southwest corner of an inlet on the southerly right-of-way line of Wittington Place, 460' westerly from the center of Chartwell Drive.
 N: 7019962.269 E: 2453438.916 EL: 429.42
- BM #2
 Cross cut on the southeast corner of an inlet on the easterly right-of-way line of Luna Road, 510' southerly from the center of Mercer Parkway.
 N: 7018165.770 E: 2452183.369 EL: 431.31

LOT AREA					
Block A	Sq. Ft.	Block B	Sq. Ft.	Block C	Sq. Ft.
1	8889	1	7993	1	11740
2	6515	2	6300	2	9059
3	6300	3	6300	3	7236
4	6300	4	6300	4	6518
5	6300	5	6300	5	6450
6	6300	6	6300	6	6450
7	6300	7	6300	7	6450
8	6300	8	6300	8	6450
9	6300	9	6300	9	6450
10	6300	10	6300	10	6450
11	6300	11	6300	11	6986
12	6515	12	9516	12	7039
13	13003	13	7596	13	6497
14	8466	14	7347	14	6497
15	6500	15	7097	15	6497
16	6500	16	6847	16	6497
17	6500	17	7228	17	6497
18	6500	18	7268	18	6497
19	6500	19	6881	19	6497
20	6500	20	7150	20	6497
21	6500	21	7422	21	6497
22	6500	22	12325	22	6497
23	6500	23	10203		
24	6500	24	6331		
25	6500	25	6300		
26	7724	26	6300		
27	12515	27	6300		
28	12337	28	6323		
29	6752	29	6788		
30	6468	30	8118		
31	6468	31	9656		
32	6468				
33	6468				
34	6468				
35	6468				
36	6468				
37	6752				
38	8485				

SITE DATA TABLE - BRIGHTON

General Information		
Zoning		PD-99
Land Use		residential
Site Area (acres/SF)		35.715
Number of Building Lots		91
Number of HOA lots/Acreage		8
Existing Land Use		Vacant
Proposed Land Use		residential
Lot standards		
Lot Type		SFD-60
Minimum Lot Width		50'/60'
Minimum Lot Depth		105'/130'
Front Yard - rear loaded		10'
Front Yard - front loaded		10' or 25'
Rear Yard - rear loaded		5'
Rear Yard - front loaded		10'
Side Yard - all lots		5'
Maximum Stories		3'
Maximum Height - FT.		40'
Maximum Lot Coverage		65%
Minimum Dwelling Size		2500 SF
Onsite Parking Required (garage spaces)		2
Landscape - Front Yard Tree		2
Landscape - 5 gallon shrubs/1 gallon shr		4/12
Development Standards		
Street ROW Width		50'
Street Pavement width (BB)		31'
Sidewalk Width - internal		5'
Sidewalk Width - abutting thoroughfare		6'
Alley ROW		20'
Alley Pavement		12'
Wittington Trail Width		10'
Wittington - Mercer Trail Width		12'

NO.	REVISIONS / SUBMISSIONS	DATE
		NA

0 100 200
 Scale: 1" = 100'

Ion Design Group

7075 Twin Hills Ave
 Suite 350
 Dallas, Texas 75231
 Firm TX F6701
 214.370.3470 Ph

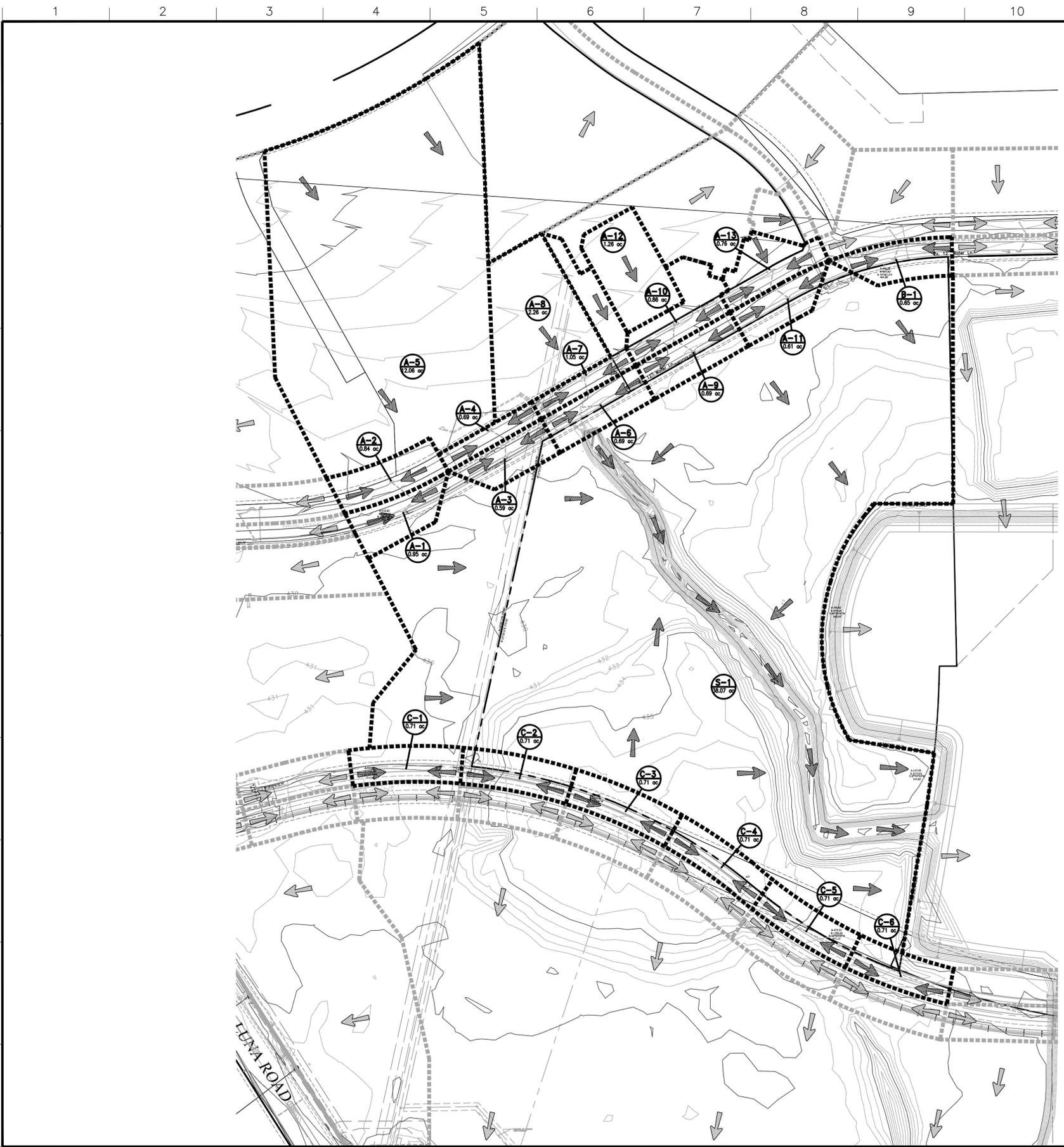
JOB NAME: **MERCER CROSSING BRIGHTON ADDITION**
 CITY OF FARMERS BRANCH, DALLAS COUNTY, TEXAS

DRAWING TITLE: **C1.01 SITE PLAN**

SEAL	DRAWN	SCALE
	FM	H: 1" = 100'
	CHECKED	FILENAME
	JT	C1.01 SITE PLAN
	REVIEWED	DRAWING NO.
	BK	C1.01
	DATE	11.03.2016
	PROJECT NO.	6004.00
		02 of 07

LAYOUT: C1.01 SITE PLAN BLOCKS Thursday, November 3, 2016 11:56:28 AM BY: FRANCISCO P.LT SCALE: 1:1 SAVED: 11/3/2016 11:53AM BY: FRANCISCO
 Z:\PROJECTS\6004-00 CENTURION MERCER C.DRAWINGS\C1.01 SITE PLAN.DWG

LAYOUT: C4.01 EXISTING DRAINAGE AREA MAP PLOTTED Thursday, November 3, 2016 11:58:30 AM BY: FRANCISCO PLOT SCALE: 1:1 SWED: 11/3/2016 10:54AM BY: FRANCISCO
 Z:\PROJECTS\6004.00 CENTURON MERCER C\DRAWINGS\C4.01 STORM.DWG PROJECT: 6004.00 MERCER CROSSING



!! CAUTION !!
 UNDERGROUND UTILITIES ARE LOCATED ON THIS SITE.
 AT LEAST 48-HOURS PRIOR TO ANY EXCAVATION, CONTACT THE TEXAS EXCAVATION SAFETY SYSTEM (TESS) TO LOCATE ALL UNDERGROUND UTILITIES IN THE AREA.
 1-800-DIG-TESS
 (1-800-344-8377)
 WWW.DIGTESS.ORG

- LEGEND**
- 760 --- EXISTING 1' INTERVAL CONTOUR
 - 760 — PROPOSED 1' INTERVAL CONTOUR
 - A1.1** DRAINAGE AREA I.D.
 - 1.00 ac DRAINAGE AREA ACREAGE
 - LIMITS OF DRAINAGE AREA
 - ← GENERAL DIRECTION OF FLOW

BENCHMARKS

BM #1
 Cross cut on the southwest corner of an inlet on the southerly right-of-way line of Wittington Place, 460' westerly from the center of Chartwell Drive.
 N: 7019962.269 E: 2453438.916 EL: 429.42

BM #2
 Cross cut on the southeast corner of an inlet on the easterly right-of-way line of Luna Road, 510' southerly from the center of Mercer Parkway.
 N: 7018165.770 E: 2452183.369 EL: 431.31

DRAINAGE AREA TABLE

Drainage Area No.	Area (acres)	c	EXISTING				Drains To
			CA (acres)	Tc (min)	I 100 (in/hr)	Q 100 (cfs)	
A-1	0.95	0.90	0.86	10	8.74	7.47	Ex. Inlet
A-2	0.84	0.90	0.76	10	8.74	6.61	Ex. Inlet
A-3	0.59	0.90	0.53	10	8.74	4.64	Ex. Inlet
A-4	0.69	0.90	0.62	10	8.74	5.43	Ex. Inlet
A-5	12.06	0.90	10.85	10	8.74	94.86	Ex. Inlet
A-6	0.69	0.90	0.62	10	8.74	5.43	Ex. Inlet
A-7	1.05	0.90	0.95	10	8.74	8.26	Ex. Inlet
A-8	2.26	0.90	2.03	10	8.74	17.78	Ex. Inlet
A-9	0.69	0.90	0.62	10	8.74	5.43	Ex. Inlet
A-10	0.86	0.90	0.77	10	8.74	6.76	Ex. Inlet
A-11	0.61	0.90	0.55	10	8.74	4.80	Ex. Inlet
A-12	1.26	0.90	1.13	10	8.74	9.91	Ex. Inlet
A-13	0.76	0.90	0.68	10	8.74	5.98	Ex. Inlet
B-1	0.85	0.90	0.59	10	8.74	5.11	Ex. Inlet
C-1	0.71	0.70	0.50	15	7.52	3.74	Ex. Inlet
C-2	0.71	0.70	0.50	15	7.52	3.74	Ex. Inlet
C-3	0.71	0.70	0.50	15	7.52	3.74	Ex. Inlet
C-4	0.71	0.70	0.50	15	7.52	3.74	Ex. Inlet
C-5	0.71	0.70	0.50	15	7.52	3.74	Ex. Inlet
C-6	0.71	0.70	0.50	15	7.52	3.74	Ex. Inlet
S-1	38.07	0.40	15.23	15	7.52	114.51	Valwood Pond

NO.	REVISIONS / SUBMISSIONS	DATE

0 150 300
 Scale: 1" = 150'

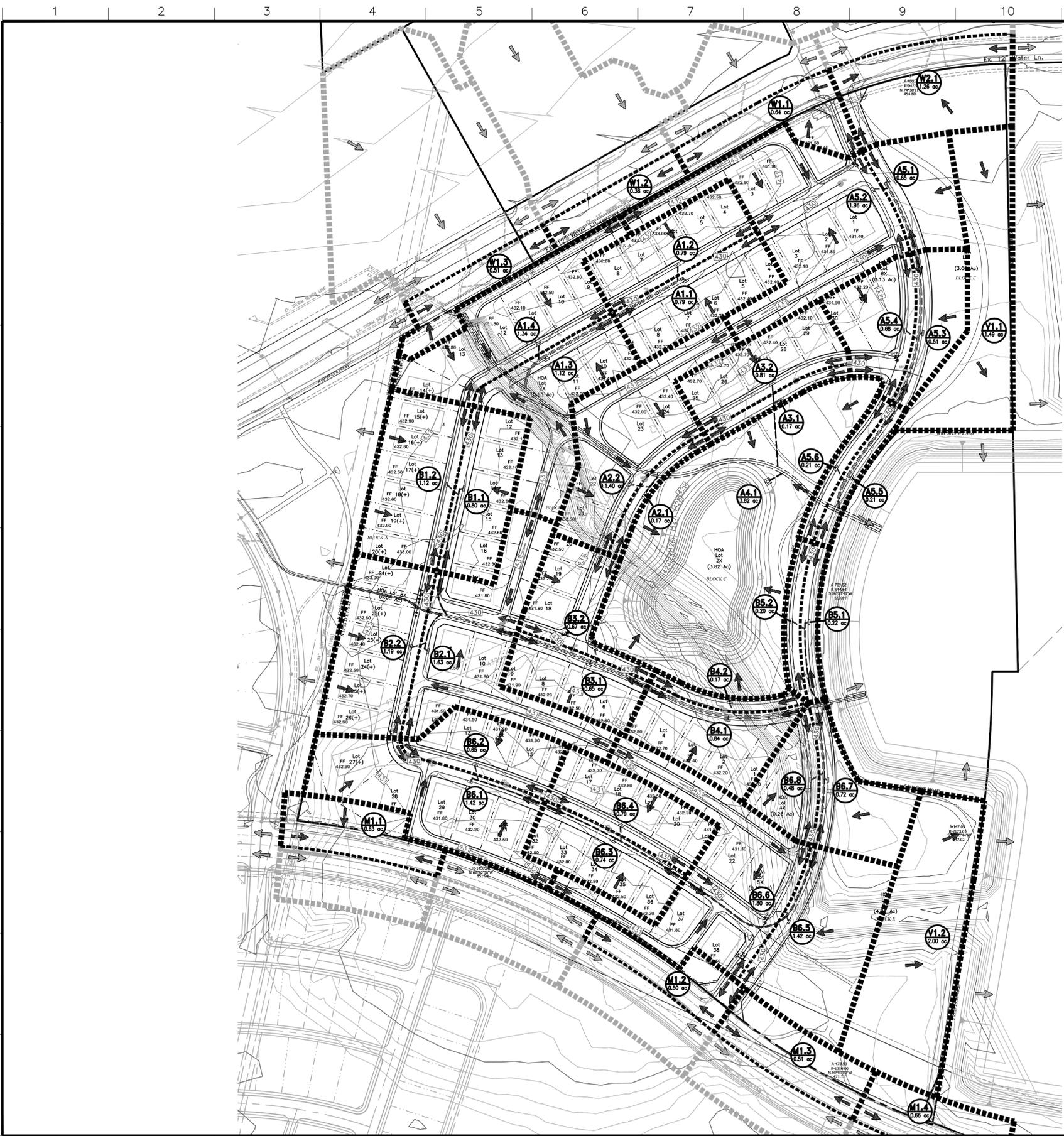
Ion Design Group
 7075 Twin Hills Ave
 Suite 350
 Dallas, Texas 75231
 Firm TX F6701
 214.370.3470 Ph

JOB NAME: **MERCER CROSSING BRIGHTON ADDITION**
 CITY OF FARMERS BRANCH, DALLAS COUNTY, TEXAS

DRAWING TITLE: **C4.01 EXISTING DRAINAGE AREA MAP**

SEAL	DRAWN FM	SCALE H: 1" = 150'
	CHECKED JT	FILENAME C4.01 EXISTING DRAINAGE AREA MAP
	REVIEWED BK	DRAWING NO. C4.01
	DATE 08.02.2016	PROJECT NO. 6004.00
		03 of 07

LAYOUT: C4.02 PROPOSED DRAINAGE AREA MAP PLOTTED: Thursday, November 3, 2016 11:58:42 AM BY: FRANCISCO P.T. SCALE: 1:1 SAVED: 11/2/2016 10:54AM BY: FRANCISCO
 Z:\PROJECTS\6004.00 CENTURON MERCER CROSSING\DRAWINGS\C4.01 STORV.DWG



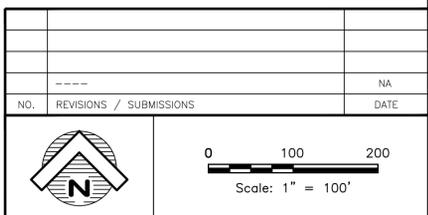
!! CAUTION !!
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 1-800-DIG-TESS
 (1-800-344-8377)
 WWW.DIGTESS.ORG

- NOTES**
- ADDITIONAL OFF-SITE DRAINAGE CONTRIBUTES TO STORM LINES PER INFORMATION OBTAINED FROM RECORD DRAWINGS FROM THE CITY OF FARMERS BRANCH FOR WITTINGTON PLACE, DATED SEPTEMBER 17, 2001.
 - ADDITIONAL OFF-SITE DRAINAGE CONTRIBUTES TO STORM LINES PER INFORMATION OBTAINED FROM PRELIMINARY DRAWINGS FROM MERCER POD B, DATED AUGUST 2016.
 - ALL DRAINAGE IS CONVEYED TO EXISTING VALWOOD FLOOD CONTROL EASEMENT.

DRAINAGE AREA TABLE							
PROPOSED							
Drainage Area No.	Area (acres)	C	CA (acres)	Tc (min)	I 100 (in/hr)	Q 100 (cfs)	Drains To
A1.1	0.79	0.70	0.55	15	7.52	4.15	Curb Inlet A1.1
A1.2	0.79	0.70	0.55	15	7.52	4.15	Curb Inlet A1.2
A1.3	1.12	0.70	0.78	15	7.52	5.89	Curb Inlet A1.3
A1.4	1.34	0.70	0.94	15	7.52	7.06	Curb Inlet A1.4
A2.1	0.17	0.70	0.12	15	7.52	0.88	Curb Inlet A2.1
A2.2	1.40	0.70	0.98	15	7.52	7.37	Curb Inlet A2.2
A3.1	0.17	0.70	0.12	15	7.52	0.90	Curb Inlet A3.1
A3.2	0.81	0.70	0.56	15	7.52	4.24	Curb Inlet A3.2
A4.1	3.82	0.70	2.68	15	7.52	20.12	Y-Inlet A4.1
A5.1	0.65	0.70	0.46	15	7.52	3.42	Curb Inlet A5.1
A5.2	1.96	0.70	1.38	15	7.52	10.34	Curb Inlet A5.2
A5.3	0.51	0.70	0.36	15	7.52	2.70	Curb Inlet A5.3
A5.4	0.68	0.70	0.48	15	7.52	3.60	Curb Inlet A5.4
A5.5	0.21	0.70	0.15	15	7.52	1.10	Curb Inlet A5.5
A5.6	0.21	0.70	0.15	15	7.52	1.09	Curb Inlet A5.6
B1.1	0.80	0.70	0.56	15	7.52	4.21	Curb Inlet B1.1
B1.2	1.12	0.70	0.79	15	7.52	5.92	Curb Inlet B1.2
B2.1	1.63	0.70	1.14	15	7.52	8.60	Curb Inlet B2.1
B2.2	1.19	0.70	0.83	15	7.52	6.24	Curb Inlet B2.2
B3.1	0.65	0.70	0.46	15	7.52	3.44	Curb Inlet B3.1
B3.2	0.67	0.70	0.47	15	7.52	3.51	Curb Inlet B3.2
B4.1	0.84	0.70	0.59	15	7.52	4.42	Curb Inlet B4.1
B4.2	0.17	0.70	0.12	15	7.52	0.90	Curb Inlet B4.2
B5.1	0.22	0.70	0.16	15	7.52	1.17	Curb Inlet B5.1
B5.2	0.20	0.70	0.14	15	7.52	1.05	Curb Inlet B5.2
B6.1	1.42	0.70	0.99	15	7.52	7.48	Curb Inlet B6.1
B6.2	0.65	0.70	0.46	15	7.52	3.45	Curb Inlet B6.2
B6.3	0.74	0.70	0.52	15	7.52	3.88	Curb Inlet B6.3
B6.4	0.79	0.70	0.55	15	7.52	4.15	Curb Inlet B6.4
B6.5	1.42	0.70	0.99	15	7.52	7.47	Curb Inlet B6.5
B6.6	1.80	0.70	1.26	15	7.52	9.49	Curb Inlet B6.6
B6.7	0.72	0.70	0.50	15	7.52	3.77	Curb Inlet B6.7
B6.8	0.48	0.70	0.33	15	7.52	2.50	Curb Inlet B6.8
M1.1	0.63	0.70	0.44	15	7.52	3.29	Ex. Curb Inlet
M1.2	0.50	0.70	0.35	15	7.52	2.63	Ex. Curb Inlet
M1.3	0.69	0.70	0.48	15	7.52	3.62	Ex. Curb Inlet
M1.4	0.66	0.70	0.47	15	7.52	3.50	Ex. Curb Inlet
W1.1	0.64	0.70	0.45	15	7.52	3.38	Ex. Curb Inlet
W1.2	0.38	0.70	0.26	15	7.52	1.99	Ex. Curb Inlet
W1.3	0.51	0.70	0.36	15	7.52	2.71	Ex. Curb Inlet
W2.1	1.26	0.70	0.88	15	7.52	6.63	Ex. Curb Inlet
V1.1	1.49	0.70	1.05	15	7.52	7.87	Valwood Pond
V1.2	2.00	0.70	1.40	15	7.52	10.51	Valwood Pond

- LEGEND**
- 760--- EXISTING 1' INTERVAL CONTOUR
 - 760- PROPOSED 1' INTERVAL CONTOUR
 - A1.1 DRAINAGE AREA I.D.
 - 1.00 ac DRAINAGE AREA ACREAGE
 - LIMITS OF DRAINAGE AREA
 - GENERAL DIRECTION OF FLOW

- BENCHMARKS**
- BM #1
 Cross cut on the southwest corner of an inlet on the southerly right-of-way line of Wittington Place, 460' westerly from the center of Chartwell Drive.
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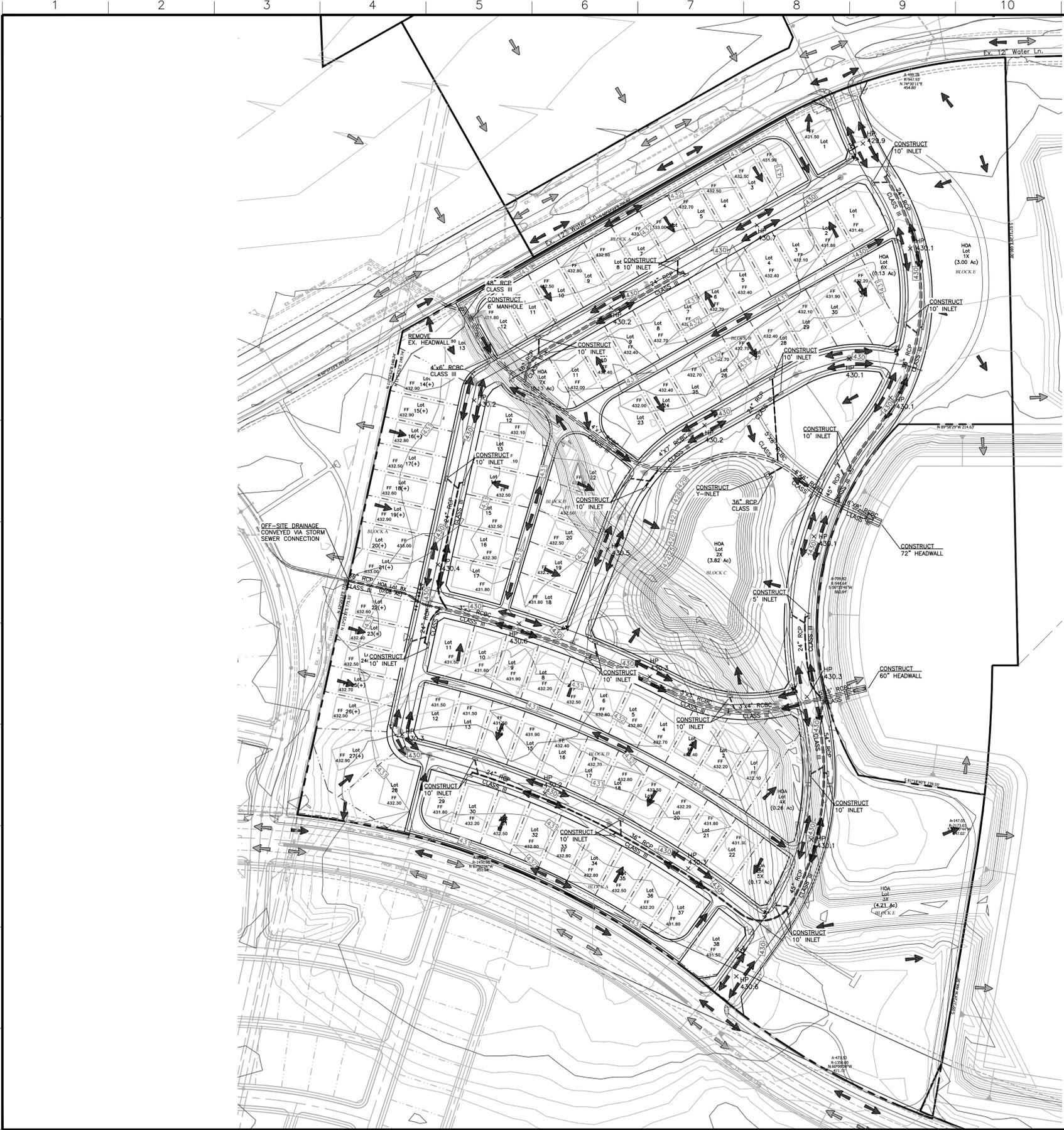
Ion Design Group
 7075 Twin Hills Ave
 Suite 350
 Dallas, Texas 75231
 Firm TX F6701
 214.370.3470 Ph

MERCER CROSSING BRIGHTON ADDITION
 CITY OF FARMERS BRANCH, DALLAS COUNTY, TEXAS

C4.02 PROPOSED DRAINAGE AREA MAP

SEAL	DRAWN	SCALE
	FM	H: 1" = 100'
CHECKED	FILENAME	
JT	C4.02 PROPOSED DRAINAGE AREA MAP	
REVIEWED	DRAWING NO.	
BK	C4.02	
DATE	08.02.2016	
PROJECT NO.	6004.00	
	04 of 07	

LAYOUT: C4.03 STORM SEWER PLAN PLOTTED Thursday, November 3, 2016, 11:58:52 AM BY: FRANCISCO P.L.T. SCALE: 1:1 SWMED: 11/3/2016 10:54AM BY: FRANCISCO
 Z:\PROJECTS\6004.00 CENTURON MERCER C\DRAWINGS\C4.01 STORM.DWG



!! CAUTION !!
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 1-800-DIG-TESS
 (1-800-344-8377)
 WWW.DIGTESS.ORG

NOTES

1. ADDITIONAL OFF-SITE DRAINAGE CONTRIBUTES TO STORM LINES PER INFORMATION OBTAINED FROM RECORD DRAWINGS FROM THE CITY OF FARMERS BRANCH FOR WITTINGTON PLACE, DATED SEPTEMBER 17, 2001.
2. ADDITIONAL OFF-SITE DRAINAGE CONTRIBUTES TO STORM LINES PER INFORMATION OBTAINED FROM PRELIMINARY DRAWINGS FOR MERCER POD B, DATED AUGUST 2016.
3. ALL DRAINAGE IS CONVEYED TO EXISTING VALWOOD FLOOD CONTROL EASEMENT.
4. NO MORE THAN 5 CFS RUNOFF FROM ALLEY TO STREET OR ACROSS STREET INTERSECTIONS.
5. NO RUNOFF SHALL OVERFLOW TOP OF CURB.

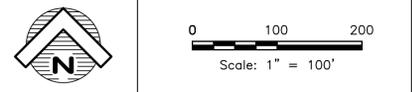
LEGEND

- ← FLOW ARROW
- EXISTING STORM DRAIN
- PROPOSED STORM DRAIN
- EXISTING CONTOUR
- PROPOSED CONTOUR
- HP 430.0 PROPOSED HIGH POINT AND ELEVATION

BENCHMARKS

- BM #1
 Cross cut on the southwest corner of an inlet on the southerly right-of-way line of Wittington Place, 460' westerly from the center of Chartwell Drive.
 N: 7019962.269 E: 2453436.916 EL: 429.42
- BM #2
 Cross cut on the southeast corner of an inlet on the easterly right-of-way line of Luna Road, 510' southerly from the center of Mercer Parkway.
 N: 7018165.770 E: 2452183.369 EL: 431.31

NO.	REVISIONS / SUBMISSIONS	DATE



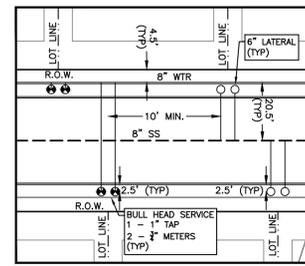
Ion Design Group
 7075 Twin Hills Ave
 Suite 350
 Dallas, Texas 75231
 Firm TX F6701
 214.370.3470 Ph

JOB NAME: **MERCER CROSSING BRIGHTON ADDITION**
 CITY OF FARMERS BRANCH, DALLAS COUNTY, TEXAS

DRAWING TITLE: **C4.03 STORM SEWER PLAN**

SEAL	DRAWN: FM	SCALE: H: 1" = 100'
	CHECKED: JT	FILENAME: C4.03 STORM SEWER PLAN
	REVIEWED: BK	DRAWING NO.: C4.03
	DATE: 08.02.2016	PROJECT NO.: 6004.00
		05 of 07

LAYOUT: C5.01 UTILITY PLAN (PAGES: Thursday, November 3, 2016 12:00:30 PM BY: FRANCISCO PLT SCALE: 1:1 SAVED: 11/3/2016 11:01AM BY: FRANCISCO
 ZA\PROJECTS\6004.00 KENTURION\MERCER C\DRAWINGS\C5.01 UTILITY PLAN.DWG



!! CAUTION !!
 UNDERGROUND UTILITIES ARE LOCATED ON THIS SITE.
 AT LEAST 48-HOURS PRIOR TO ANY EXCAVATION, CONTACT THE TEXAS EXCAVATION SAFETY SYSTEM (TESS) TO LOCATE ALL UNDERGROUND UTILITIES IN THE AREA.
 1-800-DIG-TESS
 (1-800-344-8377)
 WWW.DIGTESS.ORG

NOTES
 1. CONTRACTOR SHALL CALL THE DEPARTMENT OF PUBLIC WORKS AT (972) 919-2600 FOR UTILITY LOCATIONS PRIOR TO ANY WORK IN CITY EASEMENTS OR STREET RIGHT-OF-WAY.

LEGEND

	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	EXISTING STORM SEWER LINE
	PROPOSED SANITARY SEWER LINE
	PROPOSED WATER LINE
	PROPOSED STORM SEWER LINE
	PROPOSED SANITARY MANHOLE
	PROPOSED FIRE HYDRANT
	PROPOSED GATE VALVE
	PROPOSED CURB INLET

BENCHMARKS
 BM #1
 Cross cut on the southwest corner of an inlet on the southerly right-of-way line of Wittington Place, 460' westerly from the center of Chartwell Drive
 N: 7019962.269 E: 2453438.916 EL: 429.42
 BM #2
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 N: 7018165.770 E: 2452183.369 EL: 431.31

NO.	REVISIONS / SUBMISSIONS	DATE
---	---	NA

0 100 200
 Scale: 1" = 100'

Ion Design Group
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 Firm TX F6701
 214.370.3470 Ph

JOB NAME
 MERCER CROSSING
 BRIGHTON ADDITION
 CITY OF FARMERS BRANCH, DALLAS COUNTY, TEXAS

DRAWING TITLE
 C5.01 UTILITY PLAN

SEAL	DRAWN	SCALE
	FM	H: 1" = 100'
CHECKED	FILENAME	
JT	C5.01 UTILITY PLAN	
REVIEWED	DRAWING NO.	
BK	C5.01	
DATE	PROJECT NO.	
11.03.2016	6004.00	06 of 07



MERCER CROSSING

MERCER CROSSING MASTER DEVELOPER:



CENTURION AMERICAN DEVELOPMENT GROUP
1800 VALLEY VIEW LN #300
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DESIGN GUIDELINES PREPARED BY:

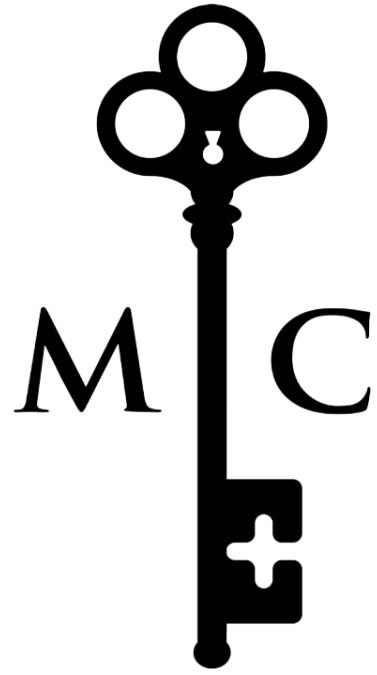


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FIRST EDITION: _____

DRAFT ONE: JULY 22, 2016
DRAFT TWO: AUGUST 3, 2016
DRAFT THREE: OCTOBER 10, 2016
DRAFT FOUR: NOVEMBER 7, 2016

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SECTION 1
INTRODUCTION

- 1.1 THEME AND CHARACTER
- 1.2 PURPOSE OF DESIGN GUIDELINES
- 1.3 ARCHITECTURAL REVIEW COMMITTEES



Texas Tudor is a contemporary application of historically inspired Tudor architectural elements which serve as a binding theme across Mercer crossing, a several hundred acre master planned, mixed-use community. Key English Tudor visual elements consist of steep multi-gabled roof lines, slate and clay shingles accents, decorative half timbering and stucco, brick and stone facades, enhanced flat, eyebrow, arched and gothic accented portals, paned windows and elaborated stone and brick chimneys. Contemporary Texas style consist of multi-sloped metal and shingled roofs, metallic or wood window canopies, porches, windows with shutters; and brick, stone and stucco facades often with vertical or horizontal siding. Texas Tudor weaves these elements into the construction vernacular of Mercer Crossing through consistent application into the built environment (buildings, landscaping, screening and signage elements) while also accommodating the native Texas Materials available as part of the sustainable development movement.

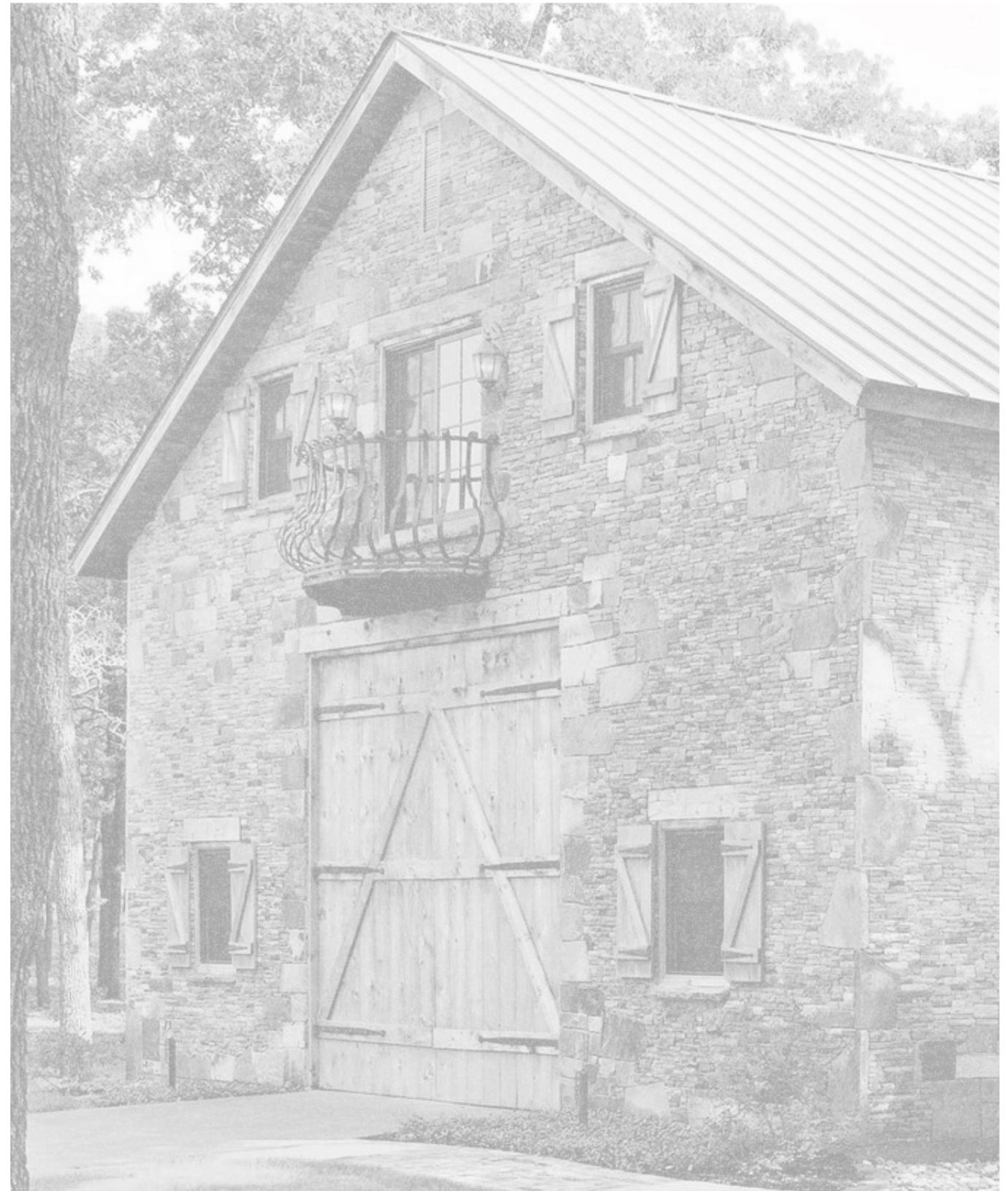


1.1 THEME AND CHARACTER

Mercer Crossing is master planned community that incorporates a compatible mix of uses, such as retail, office, commercial, and residential, integrated with open space areas and pedestrian networks for enhanced community interaction and enjoyment. The purpose of these design guidelines is to facilitate the growth and ensure the quality of character of Mercer Crossing by establishing design requirements and criteria to ensure that the development is centered around a cohesive design theme. These design guidelines will assist property owners, developers, home builders, architects, engineers, landscape architects, planners, and other consultants by providing the framework and the design intent of the community so that the theme and style are consistent throughout.

Design Guidelines are establish to provide a 'guide' to the look and feel of the community. This document is intended to provide a flexible framework that may need to be adjusted as needed in order to respond to variable market conditions or to evolve to other circumstances as this project is developed over a period of time.

Any guideline that is included herein is more strict than the approved PD Ordinance, the PD Ordinance shall control. The terms 'shall' or 'must' require compliance with the applicable regulations. The terms 'should', 'may' or 'encourage' indicate that the guideline is favorable but not required.



1.2 PURPOSE OF DESIGN GUIDELINES



Mercer Crossing Homeowner's Association

There shall be one mandatory homeowner's association (HOA) for all the residential neighborhoods. The Mercer Crossing Homeowner's Association will be required to manage and maintain the common areas and common improvements within the residential areas of the community. The association's responsibility will be outlined in the filed CC&R's and shall at least include maintenance of entrance signs, screening walls, trails, and open spaces. Each neighborhood shall be represented in the HOA.

Mercer Crossing Property Owner's Association

There shall be a mandatory property owner's association (POA) for the commercial areas within Mercer Crossing. The Mercer Crossing POA shall be required to manage and maintain the common areas and common improvements within the commercial areas. The association's responsibility will be outlined in the filed CC&R's and shall at least include maintenance of ground signs, screening walls, trails, and open spaces. Each commercial area shall be represented in the POA.

Mercer Crossing shall have two separate Architectural Review Committee's (ARC). One ARC shall be responsible for the oversight and review of residential development within the residential areas of Mercer Crossing and the other ARC shall be responsible for the oversight and review of the commercial development of the commercial areas of Mercer Crossing.

Mercer Crossing Residential ARC

This committee shall be established by the Mercer Crossing Homeowner's Association as described in the Conditions, Covenants, and Restrictions (CC&R's) filed in the Real Property Records of Dallas County. The purpose, administration and responsibilities of this committee will be described in detail in the CC&R's. The purpose of the Mercer Crossing Residential ARC shall include the following:

- To ensure the Design Guidelines are being followed.
- To encourage the high-quality construction of homes.
- To oversee, review, and approve the exterior elevations and building materials consistent with the Design Guidelines.
- To preserve the common community areas and features within the Residential Areas.

Mercer Crossing Commercial ARC

This committee shall be established by the Mercer Crossing Property Owner's Association as described in the Conditions, Covenants, and Restriction (CC&R's) file in the Real Property Records of Dallas County. The purpose, administration, and responsibilities of this committee will be described in the detail in the CC&R's. The purpose of the Mercer Crossing Commercial ARC shall include the following:

- To ensure the Design Guidelines are being followed as each commercial development is proposed.
- To encourage the construction of high-quality improvements within the Commercial Areas.
- To oversee, review, and approve building elevations, building materials, and site improvements consistent with the Design Guidelines.
- To preserve the common areas and features within the Commercial Areas.

**1.3 OWNER'S ASSOCIATIONS AND ARC**

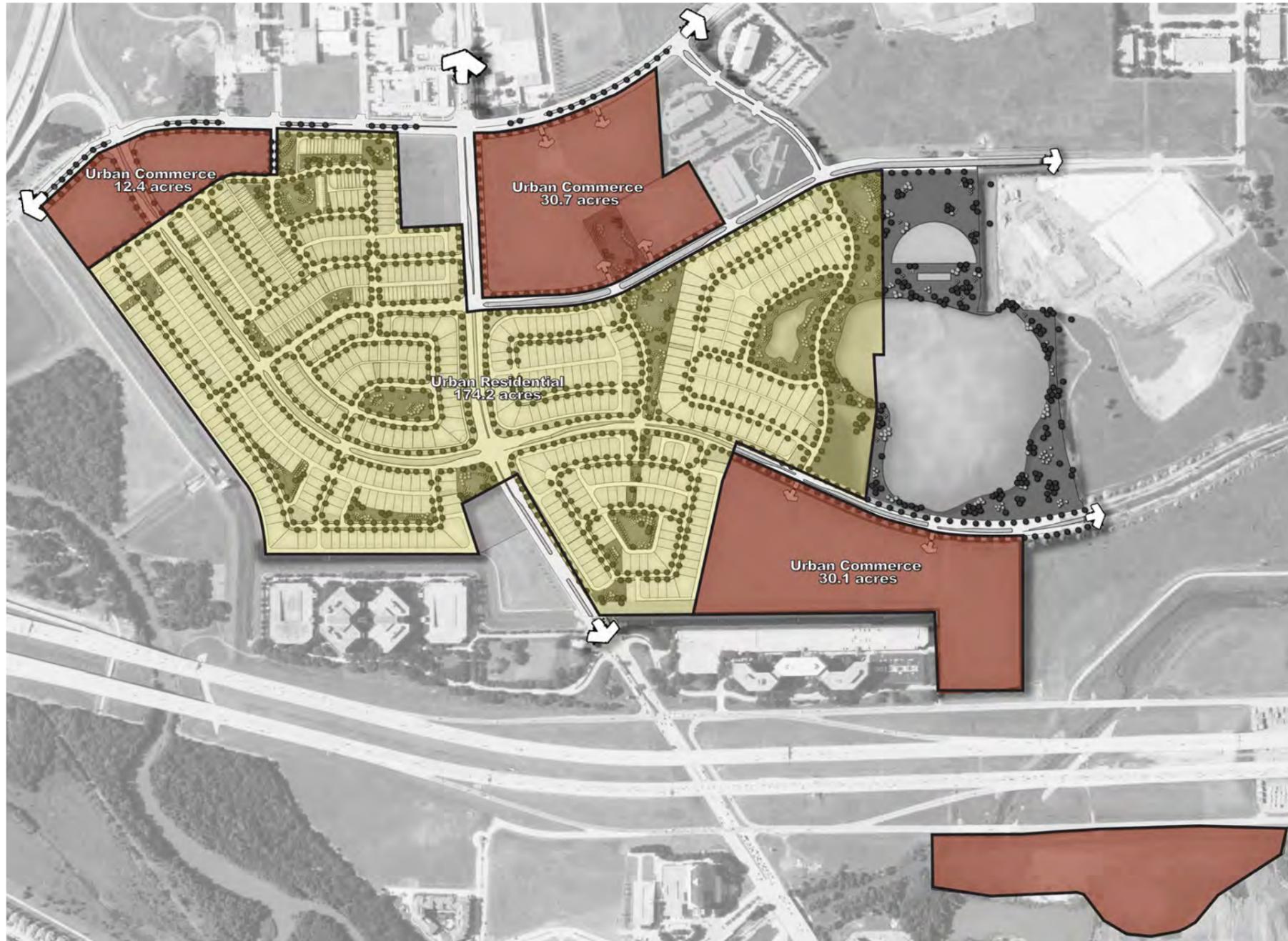


SECTION 2
LAND USE

2.1 DEVELOPMENT DISTRICTS

2.2 SUBAREAS

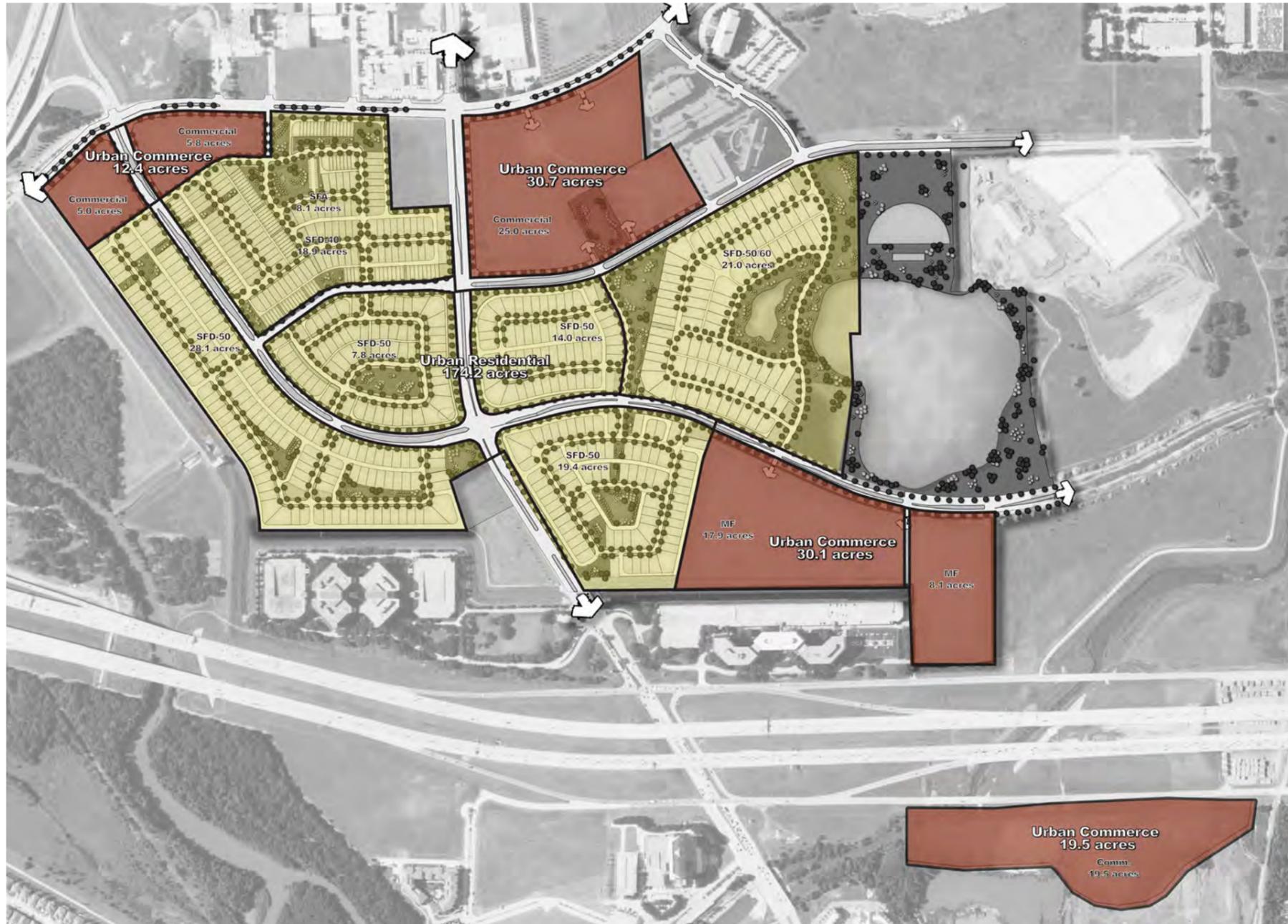
2.3 LAND USE PLAN



The development districts for Mercer Crossing are the Urban Commerce District and the Urban Residential District, each of which is composed of subareas that delineate different land uses or specific residential categories. The different districts and subareas ensure the harmonious transition between land use categories, resulting in a collection of distinct pods that form a unique and unified whole.



2.1 DEVELOPMENT DISTRICTS



Urban Commerce

The Urban Commerce District contains approximately 92.7 acres of land in the Mercer Crossing development. The intent for this district is to allow the development of small, single-lot, one-story, single-purpose commercial uses, as well as larger shopping centers, retail power centers, mixed-use buildings, corporate offices, and high-density multi-family residential. Subareas include Commerce and Multi-Family Residential.

- **Commerce Subarea:**

Typical uses in the Commerce Subarea may include (but are not limited to) Business Service, Office, Personal Service, Retail Service, Retail Specialty, Retail Trade, Studio Uses, Commercial Indoor Amusement, Restaurants, and Coffee Shops. Primary or Secondary Schools are permitted, as are Colleges or Universities. This subarea should be located near thoroughfares and intersections to improve visibility for tenants.

- **Multi-Family Residential Subarea:**

Uses may include High-Density Multi-Family Residential, with or without ground floor commercial uses, or Senior/Assisted Living Facilities.

Urban Residential

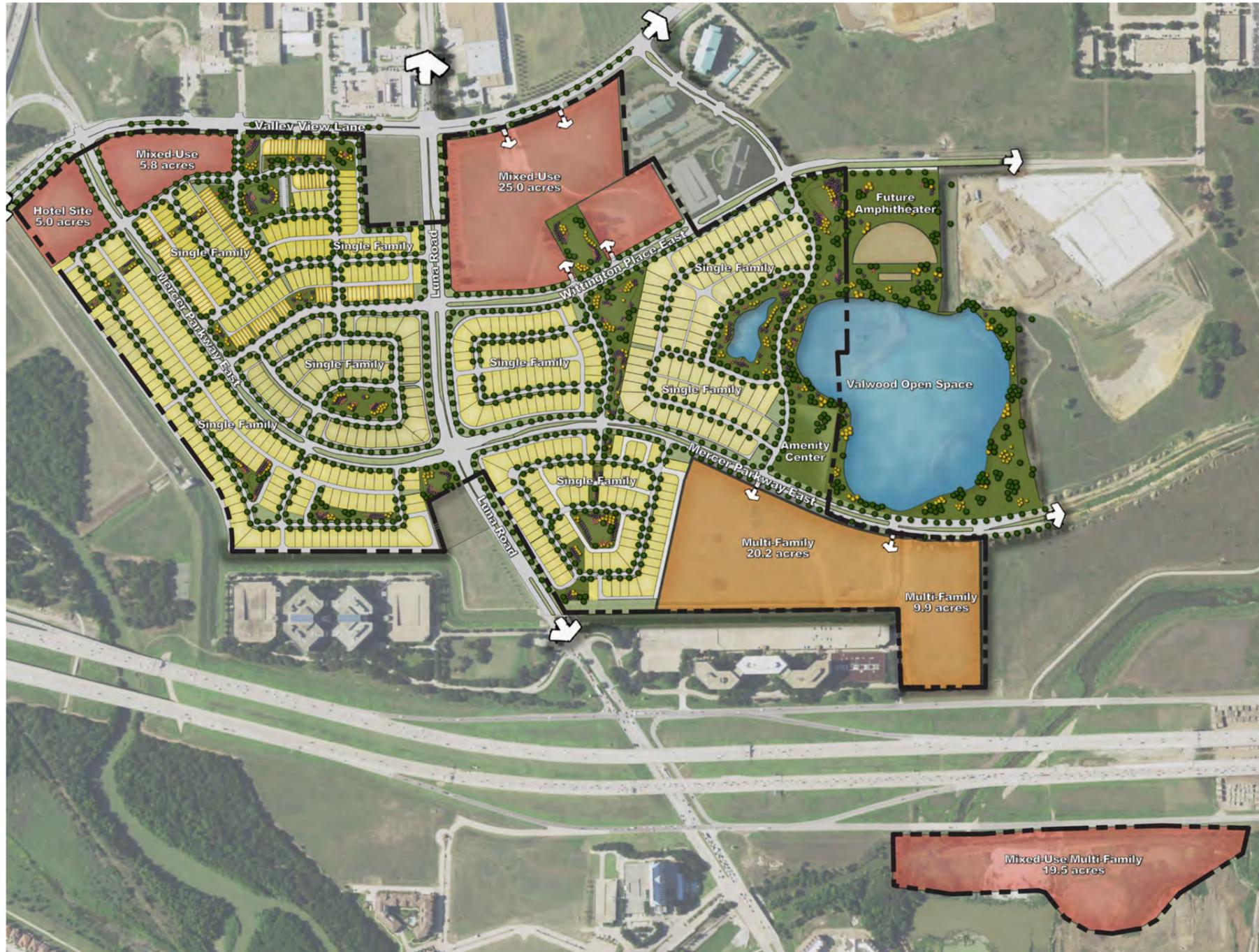
The Urban Residential District contains approximately 174.2 acres of land in the Mercer Crossing development. The intent of this district is to provide a variety of residential lot types that can serve individuals and families at all stages of life. Subareas include Single-Family Detached (SFD) Residential, and Single-Family Attached (SFA) Residential.

- **Single-Family Detached Subarea:**

The Single-Family Detached Subarea features residential lots at 40-, 50-, and 60-foot widths. Each neighborhood will be mostly comprised of a certain lot type, although all should adhere to the same Texas Tudor look and feel.

- **Single-Family Attached Subarea:**

The Single-Family Attached Subarea consists of townhomes, and is located near the Urban Commerce District. The townhomes serve as a higher-density residential use, providing a harmonious transition from commercial to lower-density residential uses.



The land use plan for Mercer Crossing is a visual illustration of the proposed districts. The districts are proposed as shown in order to provide for a balanced and sustainable mix of land uses, which comes from a compatible mixture of residential and commerce uses in close proximity to each other.

Land Uses	Acres	%	
Commerce / Hotel	45.3	17	
Multi-Family (tract 1 north of 635)	26	13.5	Not to exceed 1250 units
Multi-Family (tract 2 south of 635)	10		Not to exceed 500 units
Single Family	117.3	44	
Attached	8.1		Not to exceed 111 lots
Detached	109.2		
60 ft wide lots	17.6		Not to exceed 73 lots
50 ft wide lots	71.2		Not to exceed 323 lots
40 ft wide lots	18.9		Not to exceed 100 lots
School (potential site)	8.6	3.2	
Parks / Open Space	26.8	10	
Street ROW and miscellaneous	32.9	12.3	
TOTAL	266.9	100	

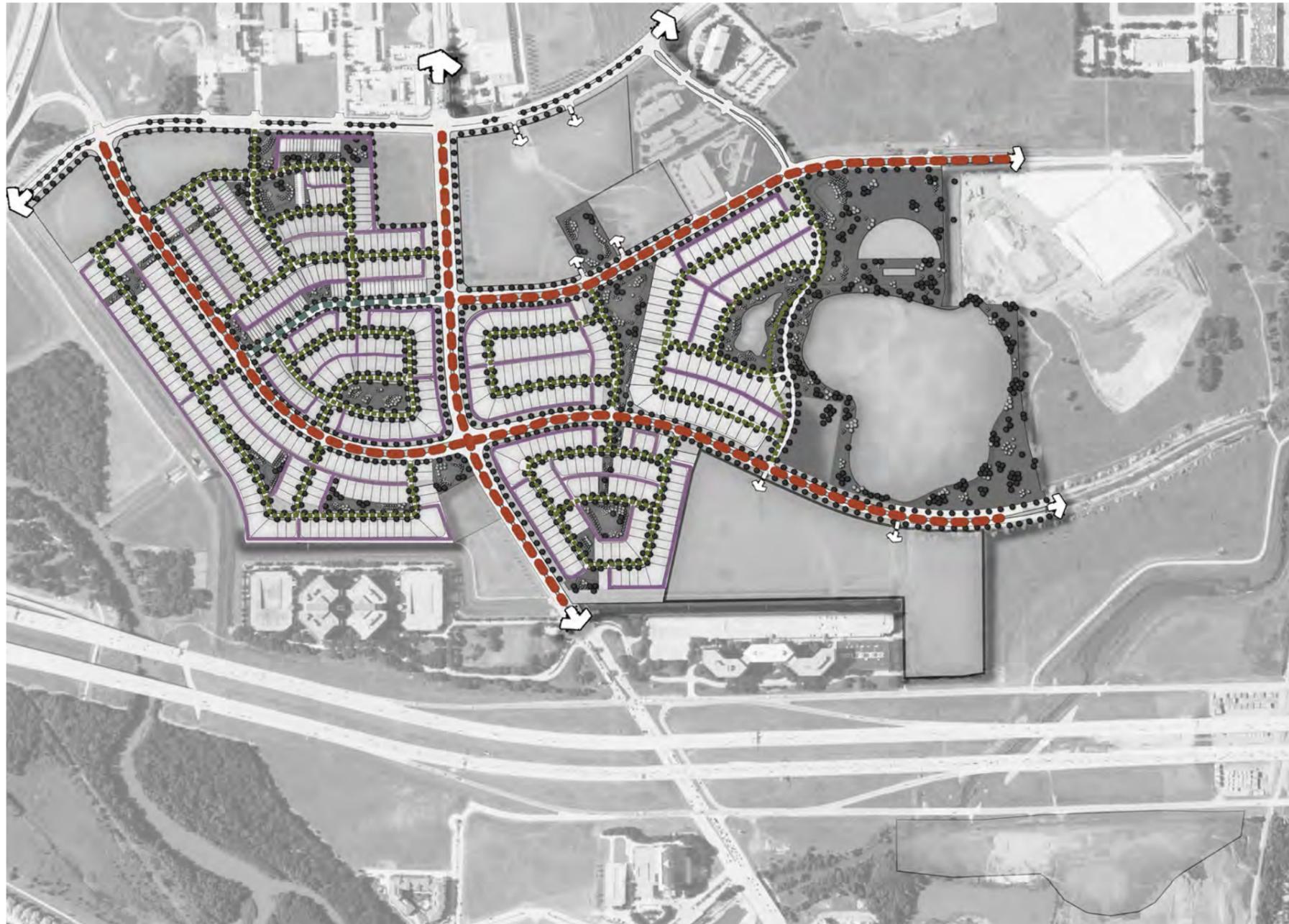
Development Districts	Acres	%
Urban Commerce	92.7	34.7
Urban Residential	174.2	65.3
TOTAL	266.9	100





SECTION 3 STREETS & SITE AMENITIES

- 3.1 STREET CLASSIFICATION
- 3.3 ENHANCED PAVEMENT & CROSSWALKS
- 3.3 LIGHTING
- 3.4 SEATING
- 3.5 BOLLARDS & PLANTERS
- 3.6 TRASH RECEPTACLES
- 3.7 BIKE RACKS & PET WASTE
- 3.8 SHADE STRUCTURES
- 3.9 AMENITY CENTER



The streets in Mercer Crossing will serve a wide variety of traffic patterns – from divided arterials to quiet residential streets. There are three main street classifications within Mercer Crossing: Major Streets, Minor Streets, and Alleys.

Major Streets include any street section with a right-of-way width of 80 feet or greater. These streets are intended to carry the majority of the through traffic, and should provide connectivity to Valley View Lane and I 635. Major streets should have street trees planted within the parkway with a spacing of no more than twenty-five feet on center. For major streets with on-street parking, one street tree shall be planted in each bump-out for parking.

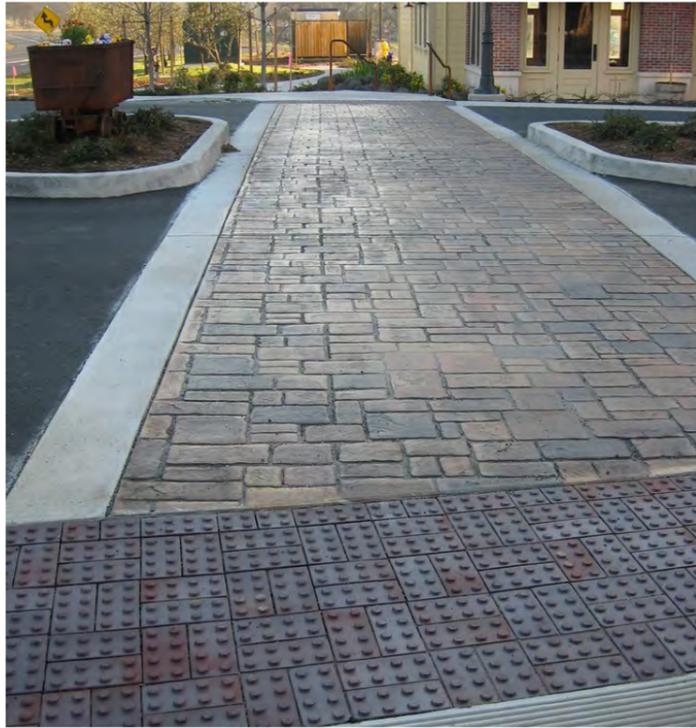
Minor Streets will provide connectivity within residential areas and from residential areas to major streets. These streets should have fairly low traffic and encourage an active pedestrian street life and community feel. Minor streets should have street trees planted within the parkway with a spacing of no greater than thirty-five feet on center. For both major streets and minor streets, street trees shall be at least three inches in caliper measured four feet above grade, and not less than ten feet in height measured from the base of the main trunk at the time of planting.

Alleys are located in residential neighborhoods to provide access to rear-loading garages. These streets are meant to provide access to residential lots; they should not be used for through traffic. No street trees are required for this street section.

-  Major Street > 100 ft ROW
-  Major Street 80 ft ROW
-  Minor Street
-  Alley



3.1 STREET CLASSIFICATION



This is a great example of an approved ADA crosswalk using stamped and stained concrete.



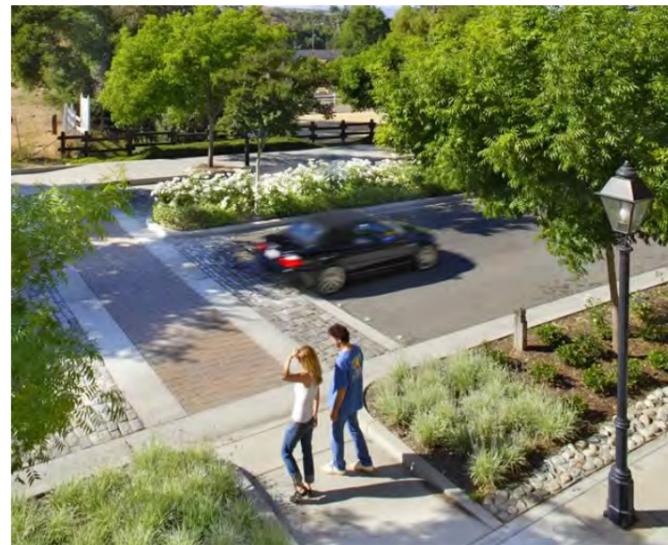
The combination of sloped corner curbs and bollards may be incorporated with crosswalks within the commercial areas.

Enhanced pavement must be used at major intersections within the Mercer Crossing development. Decorative brick or stone elements shall be used to create a visual distinction between vehicular and pedestrian traffic. This creates a human scale that gives a sense of security when crossing a busy street, and notifies motorists to reduce their speed. All materials must follow ADA requirements and provide safe passage for all pedestrian traffic.

The use of bollards and other pedestrian-friendly enhancements may also be used at intersections and in the commercial areas. All bollards will adhere to the materials chosen in the site amenities section.



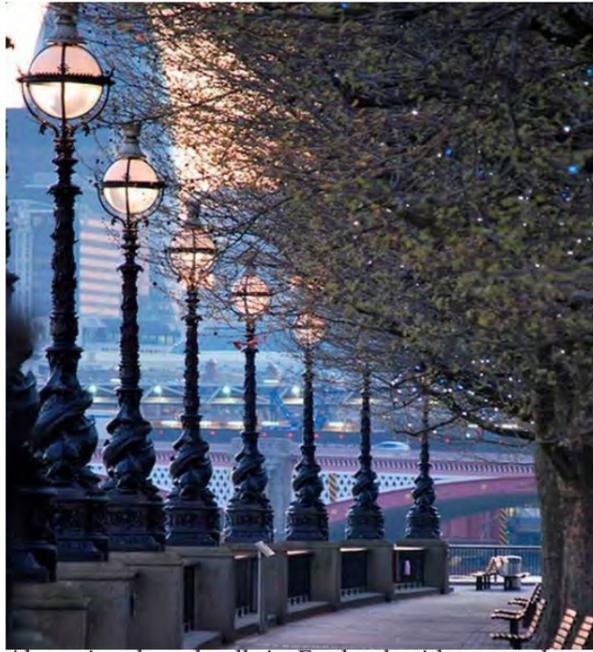
The above brick patterned crosswalk is what is in current use along Luna. All crosswalks within the Mercer Development must match this paving pattern and color.



This ideal enhanced crosswalk gives the street a human scale and provides a sophisticated urban feel.



3.2 ENHANCED PAVEMENT & CROSSWALKS



Above is a boardwalk in England with ornate lamp post made of cast iron and painted black. Although too ornate for Mercer Crossing, the materials are a great example.



This example is still in the English setting, but closer to the intended look for Mercer Crossing.



This modern day example is made to look like those in England. Night sky fittings are also an option.

While site amenities are among the simplest enhancements to a development, they can go a long way towards conveying a specific design theme. Site amenities in Mercer Crossing should be attractive, durable, and practical, as well as contributing to the overall Texas Tudor theme. All site amenities shall be cohesive and consistent in using all black metal, taking into account longterm maintenance.

The lighting in Mercer Crossing shall reinforce the Texas Tudor theme. Street lamps in residential, commercial, and open space areas should be inspired by vintage gas lamps, with varying degrees of ornamentation being acceptable. Traditional English lamp post were made of cast iron with a black finish. All lighting shall be made of similar materials with the same look.

Streetlights in the Urban Commerce districts may feature Mercer Crossing banners on the lamppost. Other enhancements, such as additional base ornamentation or planters attached to the base, may be acceptable. In addition, streets lights must be located within the parkway of the right-of-way in all districts.

All lighting in residential areas shall adhere to “dark skies” ordinances to prevent light pollution and reduce nuisance to residents. Homeowners shall also install porch lights; those visible from the rights-of-way should also be inspired by vintage gas lamps.

In commercial areas, all lighting design standards must comply with City ordinances, as well as the approved PD zoning ordinance. In addition to streets lamps, all other commercial lighting should reinforce the Texas Tudor theme by maintaining a subtle, natural appearance, without sacrificing safety.



On the streets of England bollards are also made of cast iron and painted black.



The center and right images are two examples of bollard lighting that would also mimic the intended Texas Tudor theme.



3.3 LIGHTING



This English park provides sufficient seating along the shown path. All open space areas within Mercer Crossing shall provide adequate seating.



Typical English benches are very ornate in nature, constructed of cast iron or metal substitute, and have a black finish.

Outdoor public seating areas in Mercer Crossing should reinforce the unified design theme. Benches should be inspired by Texas Tudor precedents, and may be constructed of cast iron, metal, or any combination thereof. All seating areas should be strategically placed in the Urban Commerce districts as well as the parks and open space areas throughout Mercer Crossing.

In addition to serving as a resting place, benches and seating areas encourage pedestrian activity and community interaction by providing a place for neighbors to gather, a spot to sit and people-watch, or a place to enjoy nature. An adequate number of seating must be provided in all urban commerce districts, around children's play equipment, and along recreational trails.

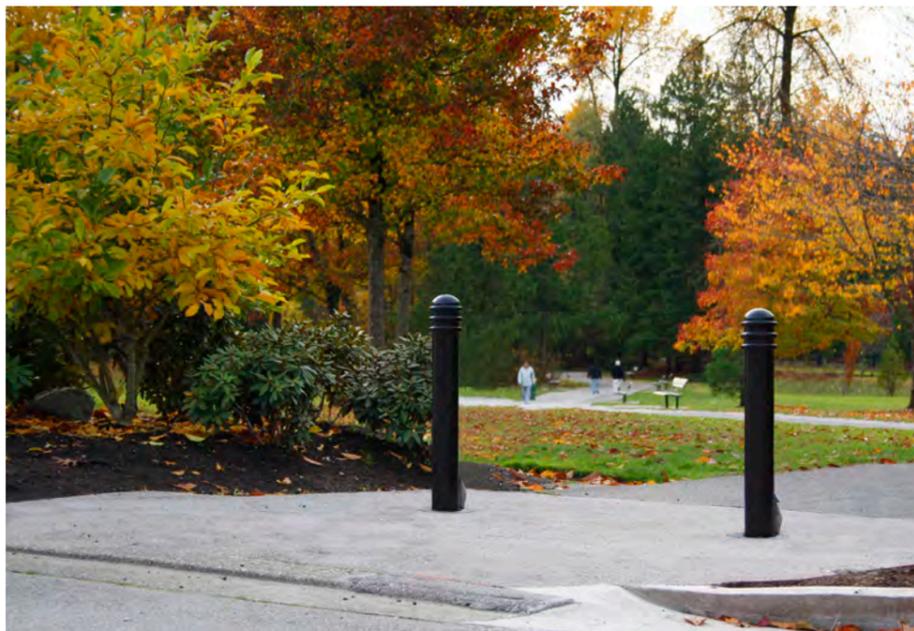


Above is a prime example of a Texas Tudor bench. It's black finish and leg detailing set the standard for Mercer Crossing.



This is another great example of an acceptable bench selection.





Bollards at trail intersections not only discourage cars from utilizing trails, but also provide pedestrian safety in the event and accident occurs at this location.



These are two examples of bollard types that should be used within Mercer Crossing.



The use of bollards is encouraged at the intersections of pedestrian trails or walkways and streets. Bollards should be placed appropriately to protect pedestrians, while still allowing sufficient spacing for strollers, bicyclists, and for all ADA accessibility standards. Bollard design shall adhere to the Texas Tudor theme by sticking with black finish and cast iron or equivalent material. Height may be dependent on the context of the location, with varying heights being acceptable in different places.

Planter boxes are also encouraged in the Urban Commerce area, and may feature trees, flowers or groundcovers, shrubbery, or any combination thereof. In order to compliment the Texas Tudor theme planters shall be black in color, and should be complementary in material to all other site furnishings. Planters may be located at regular intervals to break up the appearance of continuous pavement, demarcate paths, and beautify pedestrian corridors. Additional options include (but are not limited to) placing planters on either side of building entrances, creating a garden-like feel for an outdoor patio, and commercial screening.



This English setting incorporated landscape planters in addition to bollards. Planter bollards control pedestrian traffic while separating vehicular traffic.



The above planters are an acceptable example for the Mercer Crossing development.



3.5 BOLLARDS AND PLANTERS



This classic black receptacle is an ideal design for the Mercer Crossing development.



Lids as show above shall be placed on all trash and recycling receptacles to prevent rainfall from entering.

Trash receptacles should be placed regularly throughout the Urban Commerce districts as well as the open space areas. As with all other site amenities, trash receptacles should reinforce the Texas Tudor design theme; however, trash receptacles should be as inconspicuous as possible while still being visible enough to prevent littering. Trash receptacles should be within an arm's reach of a sidewalk or trail, but shall be located so as not to obstruct the natural flow of traffic.

Recycling receptacles are not required for Mercer Crossing, but are highly encouraged.



Although recycling is not required, it is highly encouraged. The lids shown are required on all provided receptacles.



If recycling receptacles are provided, then this double fixture is an ideal solution. All receptacles must be black in color and be fitted with a lid.



3.6 TRASH RECEPTACLES



As with all other site furnishing the bike racks shall be black in color. The architectural detail in the example above reinforces the Texas Tudor theme.



The above pet waste station or comparable substitution shall be spaced periodically throughout the development. Any site furnishing shall be in a black color finish.

Bike racks shall be installed at strategic points in open space and Urban Commerce districts. Racks shall be placed near trailheads and at logical destination points, such as retail areas or water features. Bikes are encouraged as an alternative to cars, which in turn encourages interaction between the residents of Mercer Crossing. Any proposed bike racks shall adhere to the Texas Tudor theme and should be constructed of steel or another ornamental metal to prevent theft.

Pet waste stations may be placed in open space areas, preferably adjacent to trash receptacles. These stations should be spaced frequently to strongly incentivize pet owners to utilize this amenity as often as necessary. Leaving pet waste in open space areas or on trails and sidewalks should be strongly discouraged through signage. Pet waste bags should be stocked frequently enough to prevent running out of bags. Like trash receptacles, pet waste stations should be inconspicuous, practical, and should not detract from the Texas Tudor design theme.



The wooden beams of the above arbor imitate the half timbering used throughout England. This method of support shall be applied to all applicable shade structures.



The stone work above is a great example of the desired Texas Tudor look.



This is another example of imitating the half timbering detail. As with this case, metal may be used to achieve the Texas Tudor theme.



The combination of stone columns and wooden beams is a true Texas look. With the addition of half timbering support this would be the most ideal option of shade structure.

Shade structures are an integral part of public open space. They can function as gathering places for the community, provide respite from the Texas summers, and serve as aesthetically pleasing improvements to open space. Shade structures in Mercer Crossing may include (but are not limited to): pergolas, arbors, gazebos, pavilions, and covered porches. These shade structures may or may not feature amenities such as grills, picnic areas, and enhanced landscape. The design of these structures should reflect the Texas Tudor theme and enhance the visual appearance of open space lots. Elements such as stone columns, wooden support beams, and natural-looking roofs reminiscent of rural English cottages are encouraged.



3.9 AMENITY CENTER



SECTION 4 SIGNAGE

4.1 SIGN
LOCATIONS

4.2 GROUND SIGNS

4.3 COMMERCIAL BUILDING
SIGNS



Ground signage within Mercer Crossing shall be consistent and compatible with the overall theme for the project. The location of ground signs for Mercer Crossing shall be located in the general areas as indicated on the Ground Sign Locations Map. The different types of ground signs are community monumentation, commercial and residential. Community monumentation signs are to identify the Mercer Crossing community. Commercial Ground Signs will identify the different commercial tenants and retail centers along major streets. The Residential Ground Signs will distinguish the different neighborhoods at street entrances.

There a total of five categories of ground signs within Mercer Crossing. This section includes a list of those categories with a description of the sign purpose and requirements.

Type

-  Large Community Monumentation
-  Commercial Tower/Pylons
-  Small Community Monumentation
-  Commercial Ground signs
-  Neighborhood Entrance Signs



4.1 SIGN LOCATIONS



This inspirational photo and sketch are to serve as merely an idea, and may be interpreted to fit the specific needs for Mercer Crossing.



Purpose

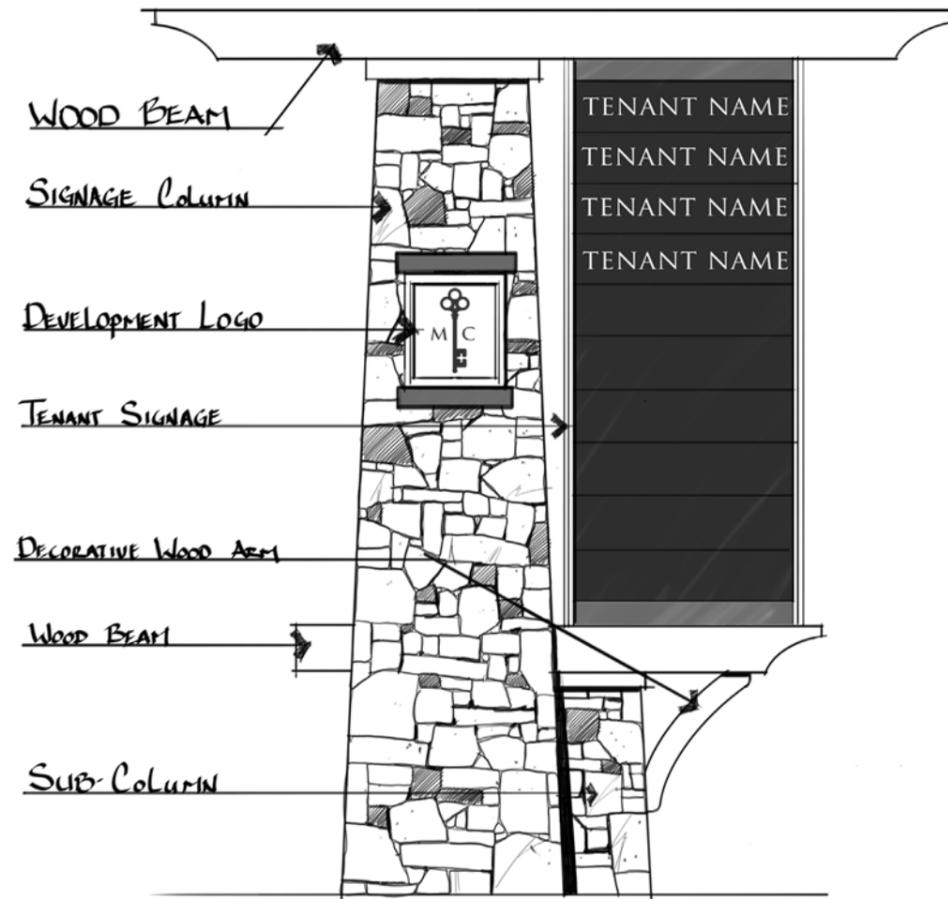
This type of sign will be located along Interstate 635 to identify the overall development. This will promote visibility and provide an identity along the highway to passing motorists. It will give Mercer Crossing a distinct presence along the highway.

Requirements

- The developer may choose to do a tall tower sign or a lower ground sign.
- If a tower sign is proposed, it must be a tower feature consisting of same architectural style of the development and not exceeding 70' in height.
- If a lower ground sign is proposed, it shall also consist of the same architectural style of the development.
- Either sign type shall only be used to identify Mercer Crossing and may not be used as a commerce sign to promote a business.
- The sign shall be maintained by the Property Owner's Association.

4.2 GROUND SIGNS

TYPE 1: LARGE COMMUNITY MONUMENTATION



Purpose

These types of signs shall be used to identify the commercial/retail centers of the community along Valley View Lane and Interstate 635 to passing motorists in order to promote business and create a distinct commercial or shopping district.

Requirements

- The signs shall be a tower feature or pylon structure with similar materials that are complimentary to the community theme. Architectural elements, such as a roof element, may be used to reinforce the design theme.
- The signs shall be used for multi-tenant identification of the businesses within the commercial areas.
- The multi-tenant panels shall be white text/business logos and a black background. They shall be internally illuminated.
- Enhanced landscaping is required surrounding the sign structure.
- Each commercial area as shown on the Land Use Plan shall be allowed one tower/pylon sign.
- The maximum sign height shall be 40'.
- The signs may include the name of the shopping center. For example, The Shoppes at Mercer Crossing.
- The sign shall be maintained by the Property Owner's Association.



4.2 GROUND SIGNS

TYPE 2: COMMERCIAL TOWER/PYLON SIGNS



Purpose

These types of signs will be used to identify Mercer Crossing at thoroughfare intersections. These signs will enhance the project identity along adjacent roadways so reinforce the community theme and create a distinct district.

Requirements

- These signs shall be free standing and not constructed within or part of a screening wall.
- The sign materials shall be consistent with the overall community theme and shall compliment the project.
- Enhanced landscaping surrounding the signs is encouraged to bolster the community theme.
- The sign shall be maintained by the Property Owner's Association.
- Either sign type shall only be used to identify Mercer Crossing and may not be used as a commerce sign to promote a business.



4.2 GROUND SIGNS

TYPE 3: SMALL COMMUNITY MONUMENTATION



Purpose

These types of signs may be used in addition to the Commercial Tower/Pylon Signs within the commercial areas to identify additional businesses and restaurants that are not included in the Commercial Tower/Pylon Signs. These signs will help motorists navigate to their destinations and establish a presence along the collector thoroughfares which is vital to the success of retail and restaurant businesses.

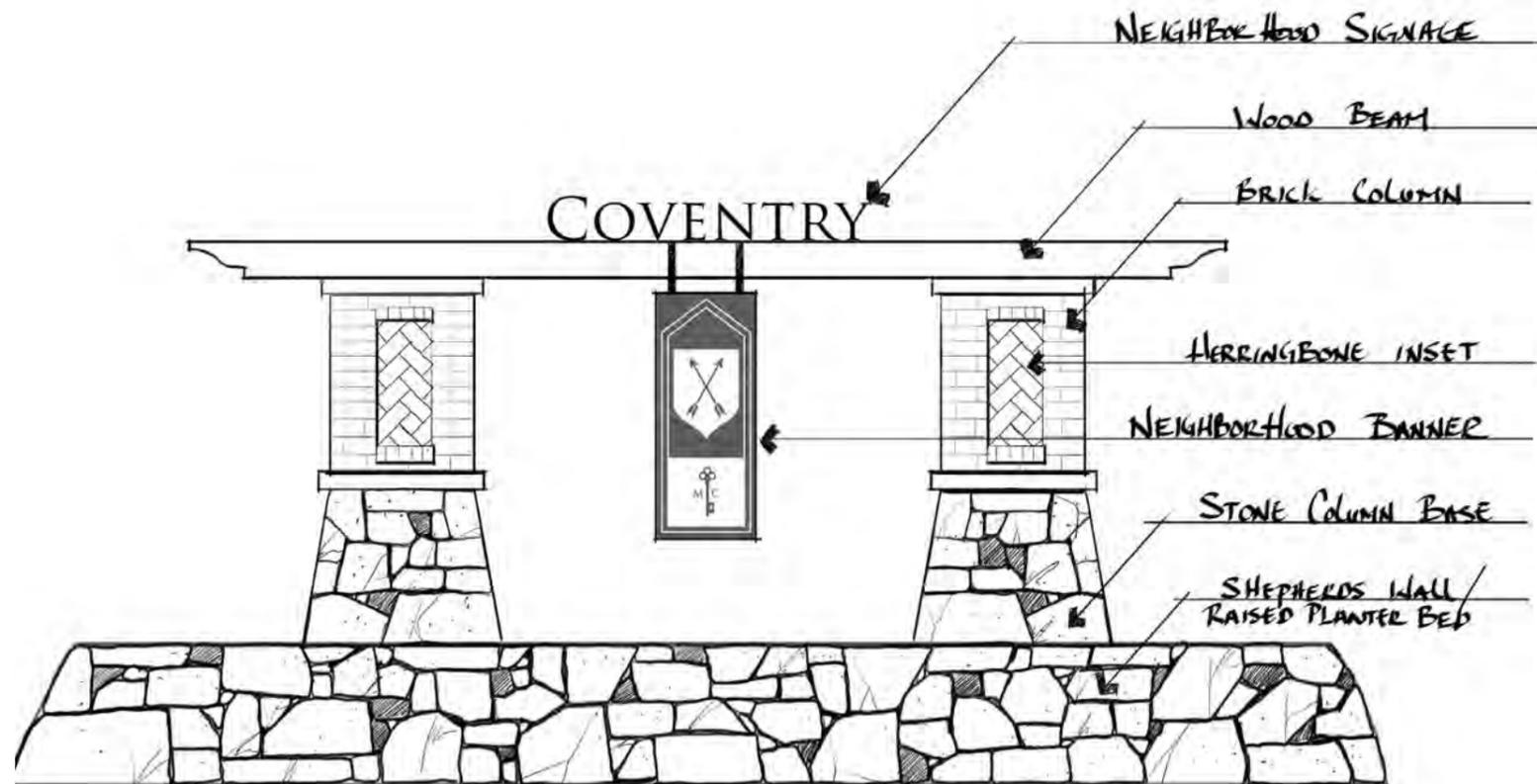
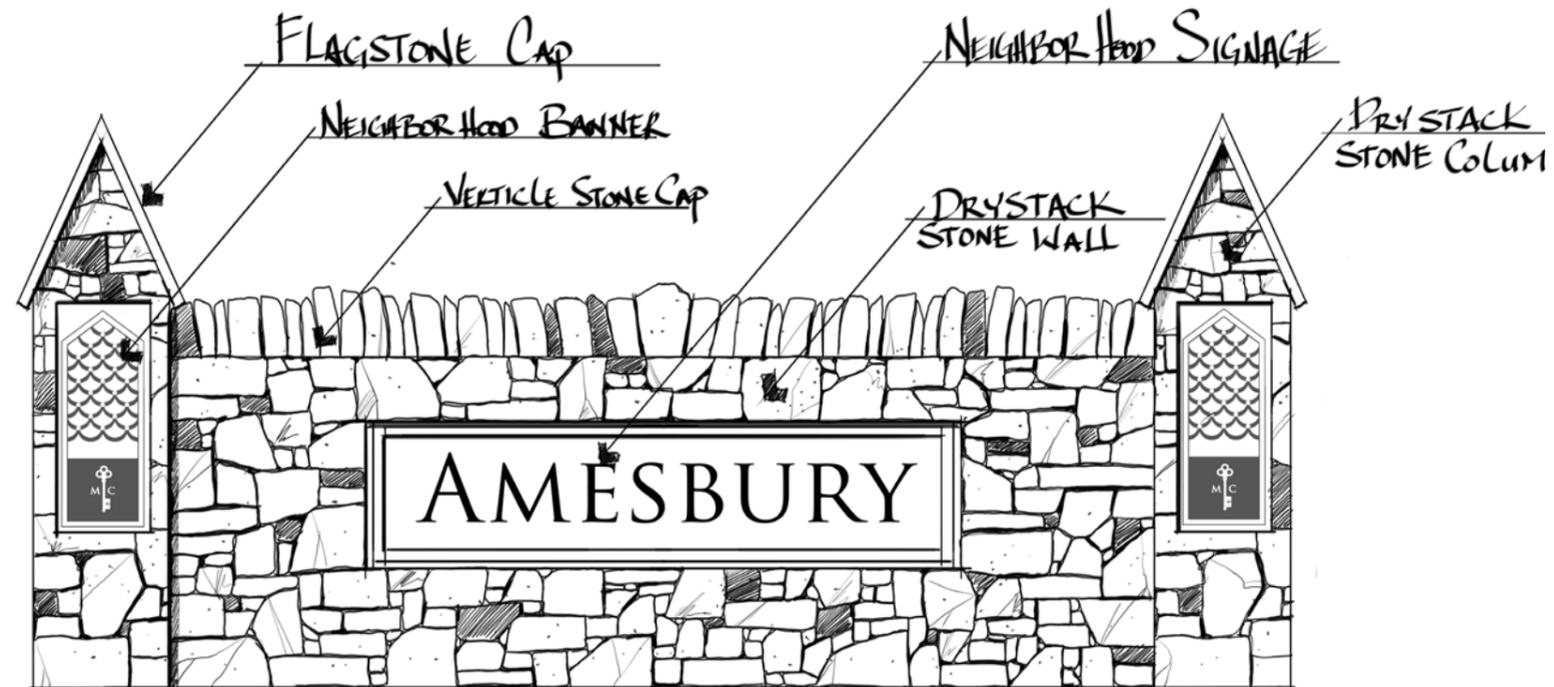
Requirements

- The signs may be as multi-tenant or to identify individual businesses.
- These signs shall use the same material as the tower/pylon signs to reinforce the sense of a distinct retail district.
- The sign panels shall include the business names or logo in white with a black background.
- The signs may be internally or externally illuminated.
- The maximum height shall be 10'.
- The signs may include the name of the shopping center. For example, The Shoppes at Mercer Crossing.
- Multi-tenant ground signs shall be maintained by the Property Owner's Association.



4.2 GROUND SIGNS

TYPE 4: COMMERCIAL GROUND SIGNS



Purpose

These types of signs shall be used to identify each neighborhood to reinforce the sense of community. Each neighborhood will be clearly identifiable from the collector streets for easier navigation. While each neighborhood is part of the larger cohesive development, they are also maintaining a distinct identity.

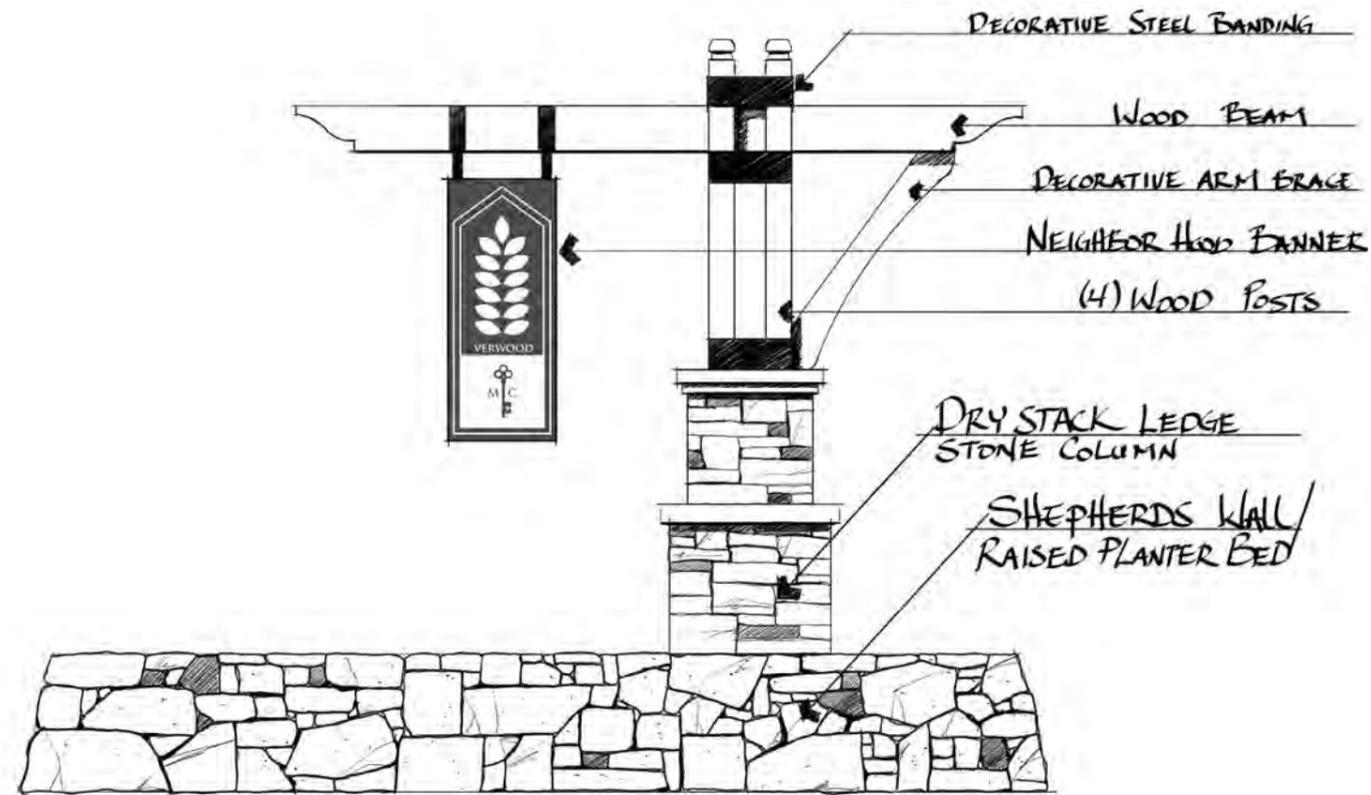
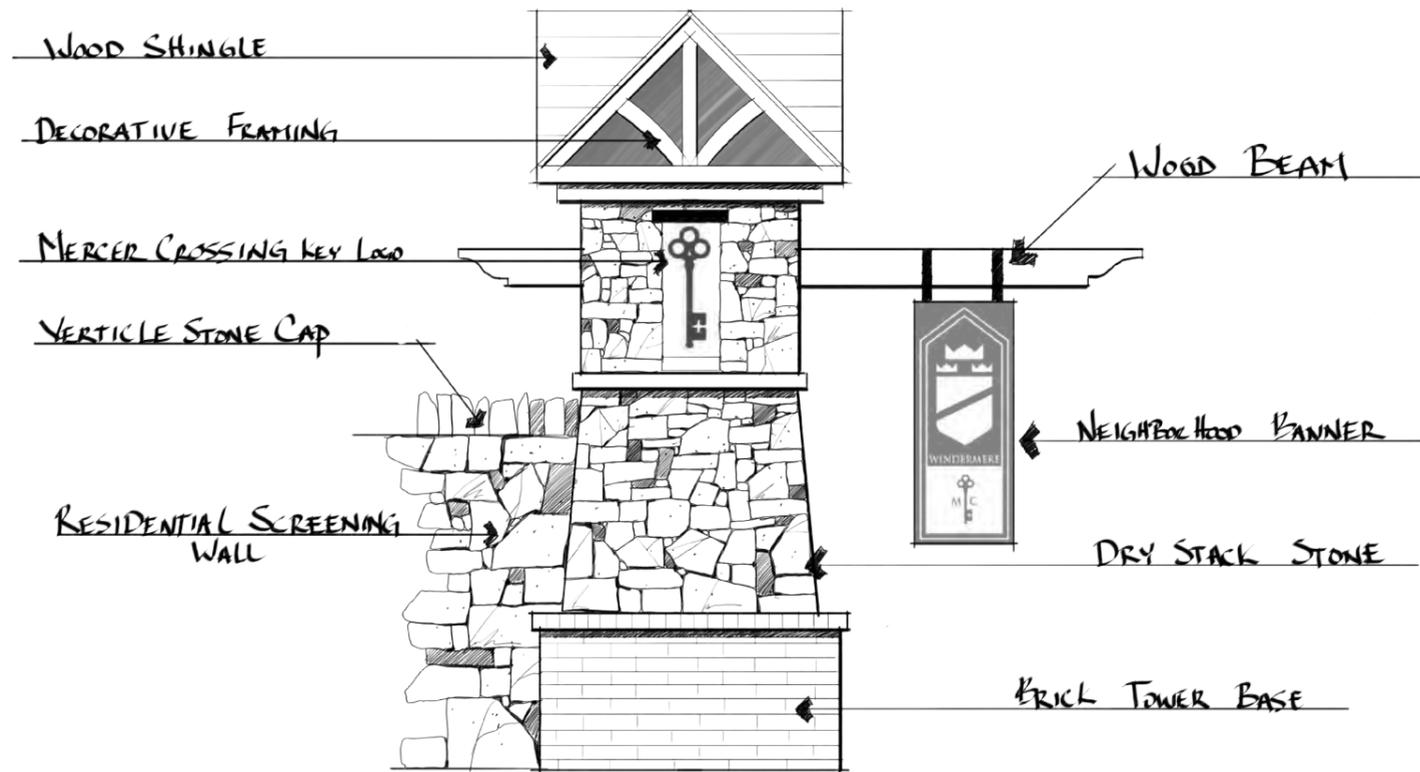
Requirements

- The signs may be free standing or as part of the screening wall.
- They may include architectural elements consistent with the development theme. Material selection shall be complimentary to the neighborhood look and feel.
- Signs shall include the neighborhood name, banner, and an identifier of Mercer Crossing by the use of either the development logo or development name.
- Each neighborhood shall have a different look for their entrance signs. No two neighborhoods shall have the same entrance sign design.
- The sign shall be maintained by the Homeowner's Association.
- The actual design of the neighborhood entrance signs shall be included in the Detailed Site Plan. Please refer to those documents for specific design information.

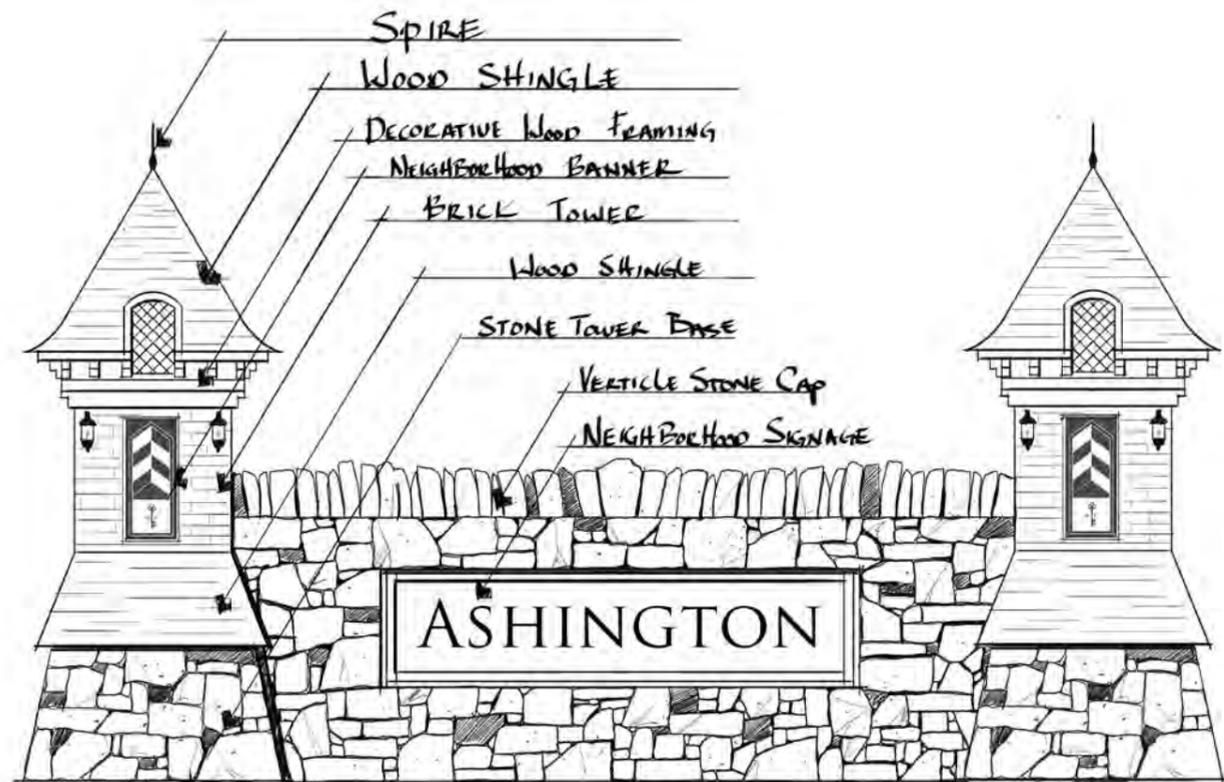
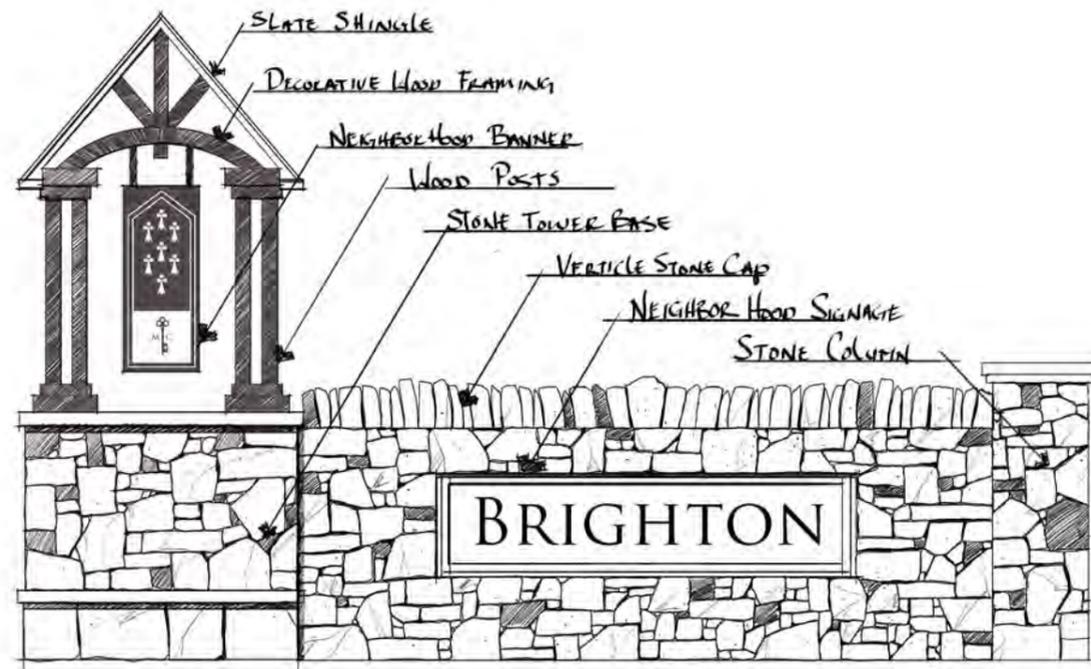


4.2 GROUND SIGNS

TYPE 5: NEIGHBORHOOD ENTRANCES



4.2 GROUND SIGNS
 TYPE 5: NEIGHBORHOOD ENTRANCES



4.2 GROUND SIGNS
 TYPE 5: NEIGHBORHOOD ENTRANCES



Purpose

Wayfinding signs help pedestrians and motorists choose a path in a built environment. These signs are especially helpful in multi-building centers, master planned communities, and parks. They typically include the name of a feature or tenant with an arrow pointing in the direction in which it can be found. These signs help reinforce a distinct district and the community identity.

Requirements

- All wayfinding signs used throughout Mercer Crossing shall be uniform and use consistent colors and typeface.
- These signs may be located on light poles, street signs, freestanding, or attached to buildings.
- Pedestrian kiosks may be used.
- These signs may also include park, trail, and bike path identification.
- These signs may be located at intersections of pedestrian paths, driveways, street intersections, or access drives.
- All signs shall include the Mercer Crossing logo, name, or other branding that identifies the Mercer Crossing community.





The purpose of these guidelines for Commercial Signs is to allow for flexibility and variety in the types of building signs within the commercial areas of Mercer Crossing. The types of building signs may vary from one business to another, but the theme of Mercer Crossing shall be reinforced and complimented by the signs. Signs shall be appropriately scaled to the pedestrian or motorists, where applicable.

The different types of commercial signs shall include the following categories:

1. Directory Sign
2. Awning/Canopy Sign
3. Hanging Sign
4. Window Sign
5. Blade Sign
6. Banner Sign
7. Wall Sign

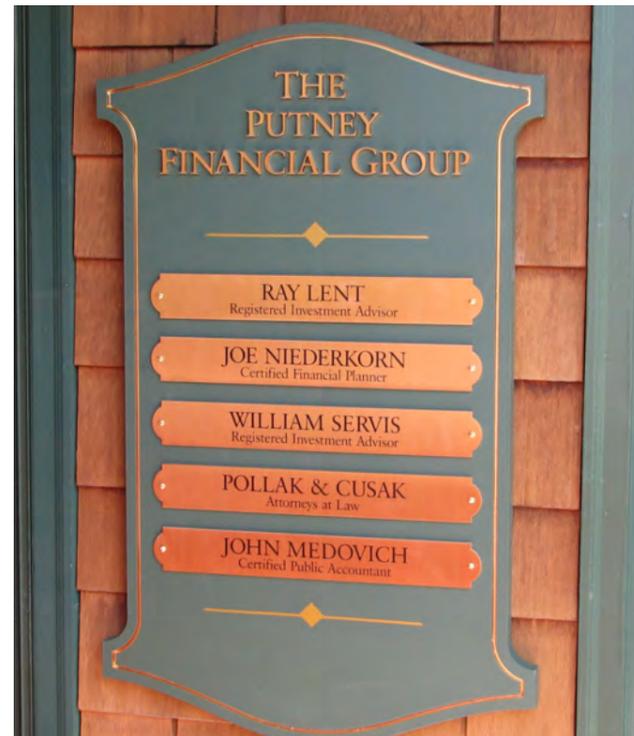
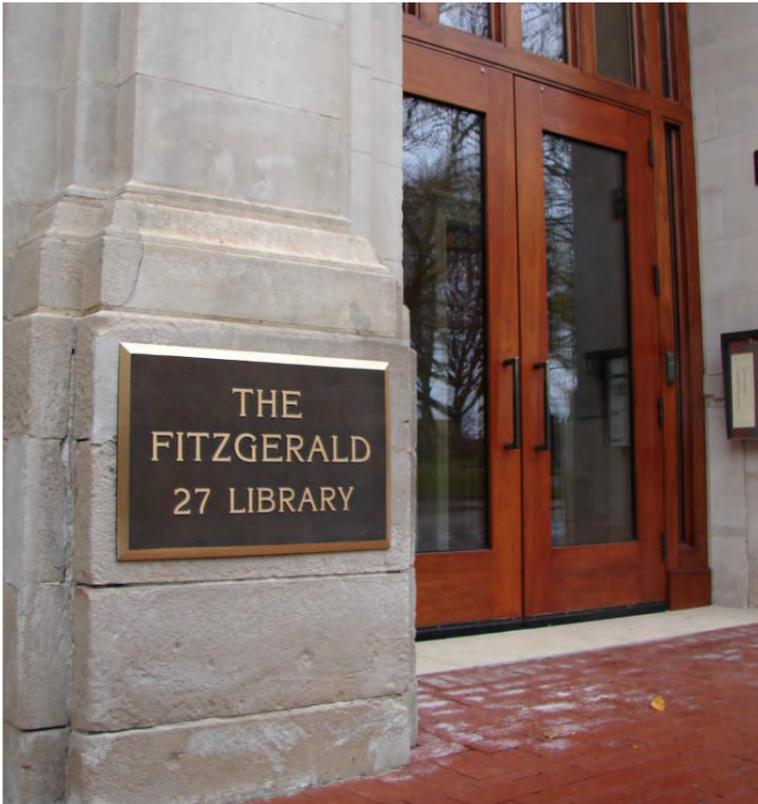
The following commercial signs are prohibited:

1. Electronic/Digital Signs
2. Roof and Painted Building Facade Signs
3. Billboards
4. Off-Premise Signs
5. Pole Signs



4.3 COMMERCIAL BUILDING SIGNS

SIGN TYPOLOGY



Purpose

A directory sign identifies various tenants within a building for patrons to navigate to their destination.

Requirements

- The sign may be located on the exterior of the building, preferably at entrances, with one sign on each street frontage.
- The building that the directory sign is used shall be a multi-tenant interior access building.
- The sign shall be attached to the building wall.
- The sign shall be externally illuminated.



Purpose

These signs shall identify the business for which they are used. Canopies or Awnings are usually placed over windows or doorways to create a distinct entry.

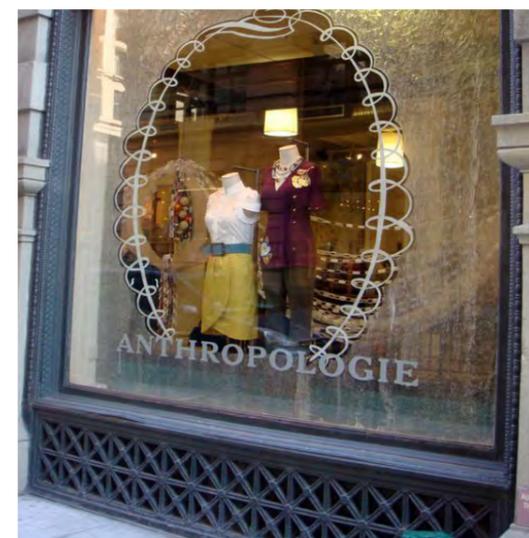
Requirements

- The awning lettering may only be located on the vertical hanging fabric with 6" letter height.
- Canopy lettering shall be attached above the canopy structure or within the face of the canopy structure. In each instance, the lettering shall not exceed 18" in height.
- The signs may be internally or externally illuminated.



4.3 COMMERCIAL BUILDING SIGNS

AWNING SIGNS



Hanging Signs

Purpose

Hanging signs facilitate pedestrian navigation along storefront walkways and entrances. These signs embody the community theme and provide architectural interest to buildings.

Requirements

- The signs may be suspended from above underneath a canopy or ceiling.
- The signs shall be located at building entrances or a corner of the building where two or more sidewalks come together.
- The sign area of a hanging sign may be 16 square feet per face for a one story building or forty square feet per face for a building of two stories or more.
- Lettering shall be 18".
- The signs may be internally or externally illuminated.

Window Signs

Purpose

Window signs are used in storefront windows to attract business from the street. They can also be used in a multi-story building to identify the tenants on the upper floors.

Requirements

- Window signs may be permanent signs or temporary.
- These sign area shall be limited to a maximum of 40% of the glass area per opening.



Purpose

A blade sign is similar to a hanging sign that is perpendicularly attached to the exterior wall of a building. This sign also provides architectural interest to the building.

Requirements

- There may be one blade sign per street frontage.
- The signs shall be internally illuminated. Either the whole sign case may be internally illuminated or the lettering may be individually internally illuminated channel letters.
- The maximum sign lettering shall be 18".



4.3 COMMERCIAL BUILDING SIGNS

BLADE SIGNS



Purpose

Banner signs are typically temporary and used to identify events or tenants within the commercial areas.

Requirements

- Banner signs shall be made of suitable material to withstand weather.
- There shall be prints/letters/images on both sides of the banner sign.
- Banner signs may be attached to light poles and buildings.
- These signs shall be supported by projecting poles at the top and bottom of the sign to withstand movement caused by wind.
- Banner signs shall not be illuminated.
- The sign face area for banner signs shall not exceed 16 square feet.



Purpose

Wall signs are mounted to the exterior of the building and used to identify a tenant. Wall signs may also be used as building identification such as building name, building number, or street address.

Requirements

- Building identification wall signs shall be used to identify buildings in a multi-building complex or a single building with multi-tenant interior access only.
- There may be one building identification wall sign on each street frontage.
- Wall signs that are not used for building identification shall be used to identify a business or tenant and may have one sign per street frontage, except for multi-tenant exterior access buildings may have one sign per tenant.
- Wall signs, including Building Identification Wall Signs, shall be internally or externally illuminated.



4.3 COMMERCIAL BUILDING SIGNS

WALL SIGNS

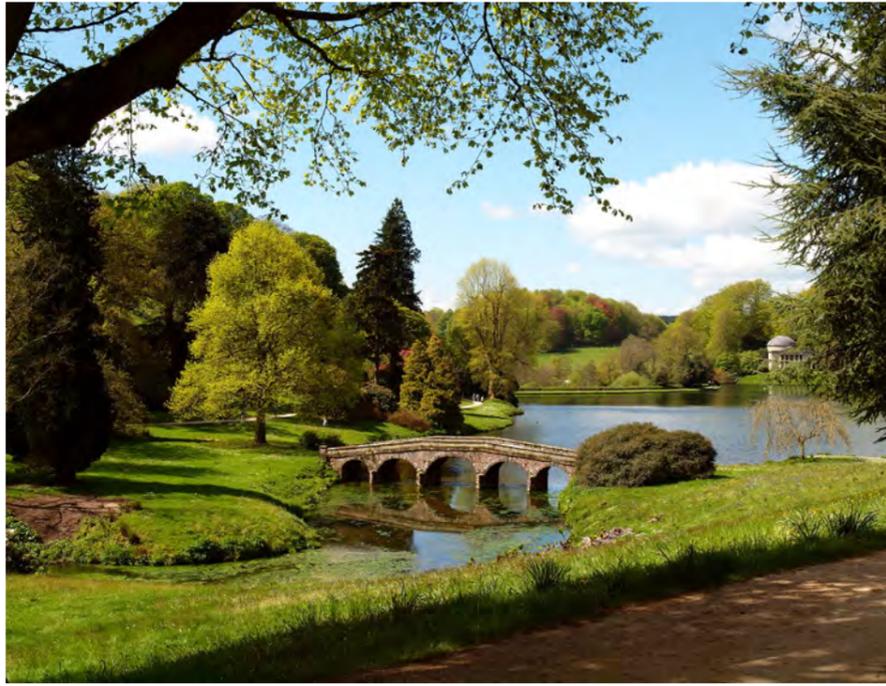


SECTION 5
OPEN SPACES, PARKS &
TRAILS

5.1 HISTORICAL INSPIRATION

5.2 OPEN SPACE PLAN

5.3 PARKS, RECREATIONAL
FACILITIES & OPEN SPACE



Historically English Landscapes took a minimalistic approach. Green rolling lawns that focused in on a key water feature. Clumps of trees were strategically planted to create a wooded backdrop and beautiful naturalistic views. These elements shall be applied in large open spaces and in the trail systems connecting each neighborhood.

At the neighborhood level residences will follow the traditional English country garden look with a generous mix of perennials, flowering shrubs and ornamentals. Layering plants creates a complex plant community and provides color and texture year around. Please refer to the appendix for a complete look at the plant selections. This planting method shall be applied at the residential scale, near entry signage, and intimate commercial settings.



5.1 HISTORICAL INSPIRATION



This open space plan indicates the locations of parks, recreational trails, linear parks, multi-family open space, and the Valwood open space. All areas shown will be vegetated using the plant list found in the appendix and shall follow the English country garden theme previously discussed.





Open Plazas like shown above provide gathering space and for building tenants and the general public. This concept will be applied in the commercial districts.



Grassy lawns not only fit the English garden theme, but are also very versatile. All parks throughout Mercer Crossing shall have open lawns.



The above paving pattern mimics the formal gardens of England and can be applied to any pocket park within the recreational areas.



Natural elements like above allow children to explore nature and use their imagination. These rocks could even be arranged in the classic Stone Henge formation to reinforce the English design.

Parks and open space are key components of healthy communities. Each residential neighborhood should include at least one common open space, and urban commerce areas should feature green space and open plazas wherever possible. The landscape design should be inspired by the country gardens and open landscapes of old England, while featuring native plant species that will require less water and are suited for the North Texas climate. A complete list of plants can be found in the appendix.



5.3 PARKS, RECREATIONAL FACILITIES, & OPEN SPACE

PARKS



Lush green lawns serve various purposes when it comes to recreation. In the photo above you have the green lawn along with a linear trail, an adequate shade canopy, and seating. This concept will be applied in the area indicated on the map to the right.

Linear parks are sometimes made of oddly shaped pieces of land, much like the vacant lots and city easements that link to become neighborhood parks. These parks are also used to form greenbelts that provide a continuous green connection throughout the city. The intended use is classified as low intensity recreation, which emphasizes the open space concept and allows for preservation of natural habitat. Manicured green lawns and clumps of dense wooded areas shall mimic the traditional English Landscape. Any site furnishings will mirror those uniquely selected for the Mercer Crossing development.



Drainage areas within the linear park may be treated as bio-swales and be covered in vegetation like the concept shown above.



5.3 PARKS, RECREATIONAL FACILITIES, & OPEN SPACE

LINEAR PARKS



Covered pavilions protect visitors from the elements and encourage outdoor gatherings. The above photograph is merely showing the concept that shall be applied where space allows.

The Valwood open space should embrace the natural topography of the land and should be used for passive recreational purposes. A trail shall be built around the water feature/pond to provide access for residents. The Valwood open space should encourage the natural wildlife habitats of birds, aquatic life and small mammals, and create an environment for residents and their visitors to interact with and enjoy nature. Catch and release fishing may be permitted at the pond.

In order to promote the natural habitat and prevent excessive runoff, permeable paving should be used in the Valwood area.



The above images are examples of the wildlife-human interaction intended. The wetland area should be a place for residents to spend time outdoors and enjoy interacting and viewing all aspects of nature. In order to preserve wildlife habitat the incorporation of a boardwalk may be considered.



5.3 PARKS, RECREATIONAL FACILITIES, & OPEN SPACE

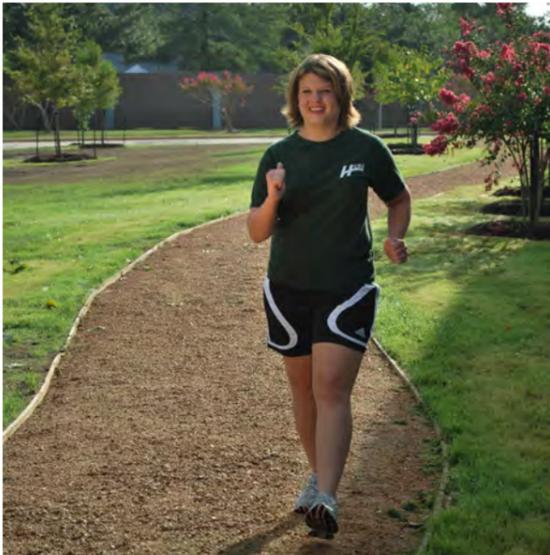
VALWOOD OPEN SPACE



Bike friendly trails are fun for the entire family. Implementing safe crosswalks and lower speed limits increases safety and encourages families from near by neighborhoods to use the trails

Parks and open space should provide connectivity between different areas and neighborhoods. Pedestrian pathways and trails shall be located in open space areas, which encourages pedestrian activity and allows residents to access commerce areas without having to drive. Trails and pathways shall be constructed of concrete per City ordinance, and to facilitate bicycle, stroller, and ADA accessibility. Outdoor fitness stations may be constructed adjacent to trails in open space areas. The trails and walkways in Mercer Crossing should encourage safe pedestrian activity, community integration, and healthy lifestyles amongst its residents.

In addition to providing connectivity within the Mercer Crossing development, a signaled crosswalk shall be installed at the intersection of Valley View Lane and Mercer Parkway to allow safe access across the highway.



Ease of access makes trails more appealing for residents.



Outdoor fitness stations are great cost friendly gym alternative. Not skewing views allows parents to utilize the equipment while children play near by.



5.3 PARKS, RECREATIONAL FACILITIES, & OPEN SPACE

RECREATIONAL TRAILS



Multi-family developments shall preserve a minimum of ten percent of the total lot area for parks and open space. Landscaped walkways, yards, and entries shall be considered open space; however, dog parks, playgrounds, passive open space areas, gazebos and picnic tables, and grill/outdoor amenity areas are also acceptable uses for multi-family open spaces. These developments shall make all efforts to include pedestrian trail connections throughout the multi-family community linking these residents with the other neighborhoods within Mercer Crossing.

The Texas Tudor theme shall be carried throughout the multi-family community. All planting beds should follow the English country garden theme, with layers of various colors and textures. All stone used shall coordinate with the selections unique to Mercer Crossing. The images to the left are examples of amenities that may be incorporated into the multi-family development.



5.3 PARKS, RECREATIONAL FACILITIES, & OPEN SPACE

MULTI-FAMILY OPEN SPACE



SECTION 7
URBAN COMMERCE
DISTRICT

7.1 INTRODUCTION

7.2 ARCHITECTURAL
STANDARDS

7.3 SITE DEVELOPMENT
STANDARDS



Although the architectural look of this retail center is not what we are going for, the concept is. An open plaza area allows the continued flow of pedestrian traffic and the space for landscaping.



This commercial facade shows a variation in roof pitch and building material to create a Tudor style village. This concept shall be applied to all commercial areas using materials found in the appendix.

The Urban Commerce District for Mercer Crossing makes up nearly 35% of the community's land area. It allows for a mixture of land uses such as retail, office, hospitality, institution, senior living, and high density multi-family residential. The areas designated for this district are located at major street intersections and on the periphery of the Mercer Crossing community, as shown on the Land Use Plan.

The type of development planned for this District can include small, single lot, one purpose buildings up to larger retail power/shopping centers. Small scale retail, mixed use buildings, corporate offices and multi-family buildings can also be included to evoke a village-like feeling within the District. These uses should be compatible and promote interaction with one another where appropriate. Particular attention should be given to the front building facade to complement the streetscape and help create an active street scene. Pedestrian and vehicle circulation patterns should be efficient and provide increased mobility from open space and parking areas. The use of site elements and amenities shall be compatible to the design theme to evoke a sense of unity.



This lively, urban concept should be applied in the mixed use areas, specifically the Boardwalk South of I 635. Providing multiple uses to an area utilizes the space to its full potential. Here you can see people relaxing, space for children to play, restaurants, and retail.



Buildings within the Urban Commerce District shall be architecturally compatible with the Texas Tudor design theme. Facades should be finished on each side of the building, using elements such as articulation, detailing, and other architectural features. The building plane should be articulated horizontally and/or vertically to avoid long expanses of exterior wall. Articulating roof lines can also help soften long building edges. Buildings should include architectural elements such as cornices, awnings or canopies, lintels, columns, porticoes, colonnades, or balconies. These elements can unify separate parts of the building, make the building human scaled, and provide a backdrop for building signage or graphics.

A tri-partite design shall be used on larger buildings within the Urban Commerce District to help break up the wall plane. The buildings shall have a distinct base, middle, and top, and each of these sections should have different facade materials. Smaller buildings that are located on individual pad sites or are not part of a larger building complex shall be architecturally compatible with the larger development.



All of the facades shown to the left demonstrate the character needed to portray the Texas Tudor theme. The roof variations, architectural details and materials work together to create an upscale retail center.



7.2 ARCHITECTURAL STANDARDS

FACADES



Materials for Urban Commerce buildings shall be predominately masonry, which includes a combination of brick and stone. A variety of brick and stone patterns can be incorporated into each facade to create architectural interest and also be complementary to the design theme. Soldier course and herringbone are just a couple of brick patterns that may be used on facades. A variety of stone patterns, such as splitface, rectilinear, or stacked stone can also be used to enhance the architectural style. Large stone blocks, such as cast stone and limestone, can be used at the base of a building. A combination of these materials shall make up at least 75% of the facade area.

Secondary materials may include smooth finished stucco and Hardi-plank. These materials may constitute a maximum of 25% of the facade, provided that the Hardi-plank is configured as horizontal lap siding. The complete list of exterior paint options is located in the appendix. These options or approved substitution range from lighter Earth tones to deeper jewel tones and all must reinforce the Texas Tudor theme.

Accent materials can make up 5% of the facade and may include a variety of materials for architectural elements such as trim, soffits, eaves, beams, lintels, shutters, and cornices. Materials may include pre-cast masonry, gypsum reinforced fiber concrete, metal, split-faced CMU block, and EIFS. Wood or faux wood may also be used as an accent material on up to 25% of the building facade to accentuate the Texas Tudor theme.





Windows are an important architectural feature and particular attention should be given to the placement of windows on a facade. For store fronts and shops, windows allow interaction with the street and pedestrian spaces. The placement of windows, along with the size and type, help establish the scale vitality of the public realm.



7.2 ARCHITECTURAL STANDARDS

WINDOWS



Building entrances shall be human-scaled and clearly identifiable to pedestrians and motorists. The use of awnings, canopies, porticoes and other sheltered entry elements should be used to enhance the entrance and provide protection. Other features may include lintels, pediments, columns, overhangs, railings, or balustrades.

The use of awnings and canopies emphasizes the human-scaled design of the buildings, and gives the detail needed for portraying the Texas Tudor theme. Materials that may be used for awning and canopies are metal, fabric, vinyl, acrylic, or fiberglass provided that they are opaque and not shiny or reflective. Any support structure that is used for awnings or canopies should complement the style of architecture and materials used on the building.

Awnings and canopies are allowed over windows or doors provided that they do not encroach onto a pedestrian pathway or street space. They cannot be internally illuminated. All color choices and materials must follow those provided in the appendix section.



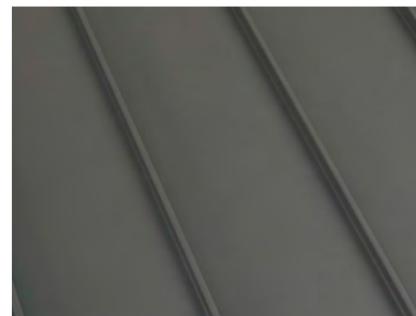
7.2 ARCHITECTURAL STANDARDS

ENTRANCES, AWNINGS, & CANOPIES



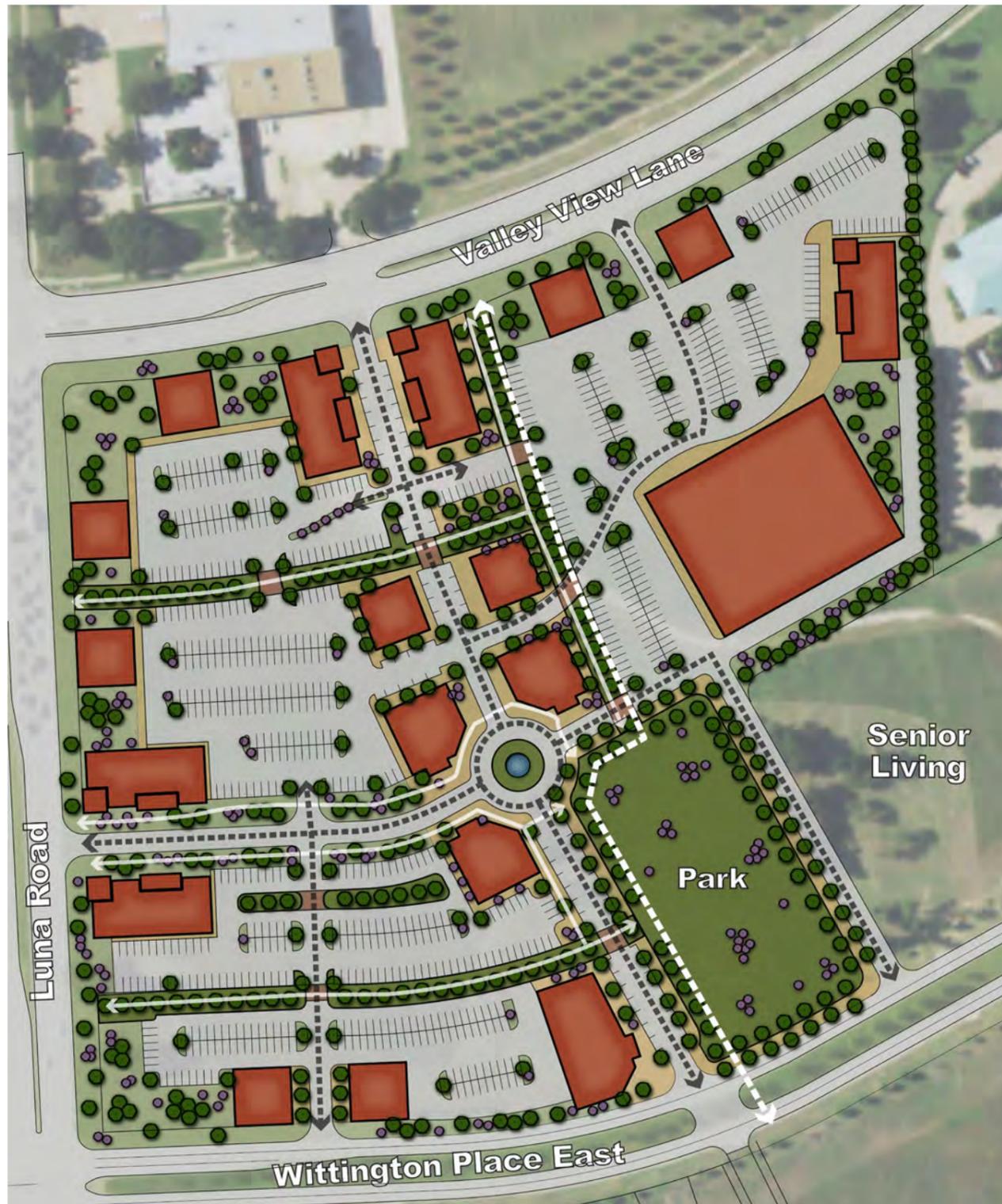
Commercial roofs may be pitched or flat with parapets and shall be complementary to the design theme. Vertical articulation, which includes articulating roof lines, is encouraged to minimize long stretches of facade. The use of parapets is also helpful in screening rooftop equipment and to provide an area for a building sign. Parapets may include cornices and other trim elements to distinguish the top of a building.

The materials of roofs shall be a combination of asphalt shingles, tile (clay or concrete), or metal standing seam. Flat roofs with parapets shall have a monolithic Thermoplastic Polydefin (TPO) membrane that is not visible from the ground. Roof materials for awnings, canopies, and other elements that are used to create arcades along storefronts shall be shingle, metal, slate, or tile.



7.2 ARCHITECTURAL STANDARDS

ROOFS



The site layout for each area within the Urban Commerce District shall be an integrated design approach that takes into consideration the surrounding roadways and proposed neighborhoods while ensuring pedestrian connectivity to the community's trail and open space system. Visibility and accessibility are key components that are vital to the success of restaurants, retail, and shopping areas. Particular attention should be given to these components during the site design process for commercial areas.

This conceptual site configuration proposes interior parking blocks. Providing for several outparcels or pad sites for individual buildings in front of a large anchor or shopping center.

Elements that should be considered include maximizing views in open space and designing the site to overlook water features. These components are community amenities and provide an added value to the commercial areas. The inclusion of plazas and outdoor dining opportunities increases human interaction with the public realm and is strongly encouraged where appropriate.



7.3 SITE DEVELOPMENT STANDARDS

CONCEPTUAL LAYOUT



The Urban Commerce District may utilize a shared parking design approach for off peak uses in order to minimize over-parking scenarios and to reduce impervious areas. The majority of surface parking is required to be located behind the buildings in order to create a consistent street edge. Surface parking area shall include landscape islands and borders to create shade and aesthetic balance with paved areas. Both on street, and off, street parking are allowed.

The images to the left indicate a properly landscape parking lot. Parking islands should be treated as bio-swales in order to filter runoff and for aesthetic value. These areas are ideal places to incorporate the English country garden theme with layers of colors and textures. Please refer to the appendix for a complete plant list.

Pedestrian connectivity between parking islands shall be taken into consideration throughout all parking areas. Pedestrian arteries shall lead directly to their destination without any conflict with moving vehicles, except for crosswalks to access storefronts.

Parking structures may be necessary to accommodate a higher parking demand. If necessary, the structure shall be architecturally compatible with the surrounding buildings. Street level areas of a parking structure may include some ground floor retail or office uses to promote an active street scene.





Landscaping for the Urban Commerce District shall include a wide variety of plants, trees, and shrubs that are consistent with the Texas Tudor design theme. While the different street types for Mercer Crossing require street trees along the parkway, the use of landscape buffers may be appropriate if the buildings are not located directly on the street edge. To promote an organic feel, lifestyle shopping is encouraged. This type of area should include wide walkways broken up with landscape planters and beds.

Parking lot landscaping is important to soften the views of large expanses of concrete and to provide shade and relief from the sun. Screening shrubs shall be used where parking lots abut a street to block any unwanted views. Landscaped islands with at least one tree shall be located at the end of rows of parking. In addition, a landscaped island is required for every 15 spaces located within a parking row. When appropriate, raised planters may be needed to protect a landscape island.

Foundation landscaping is encouraged along the facade of large buildings to help soften the architecture and to enhance the look and feel. The use of either landscaped beds or planters is appropriate.



Fencing

Areas of the Urban Commerce District that are directly adjacent to residential neighborhoods should be screened by a combination of stone or masonry wall. For a complete list of approved color options visit the appendix.

Service areas, such as dumpsters, shall be screened by a fence or wall of a maximum of 8' in height to minimize visibility.

Retaining Walls

The use of retaining walls may be necessary for grading purposes. If retaining walls are use, they shall be clad in a material that is consistent with the overall design theme.

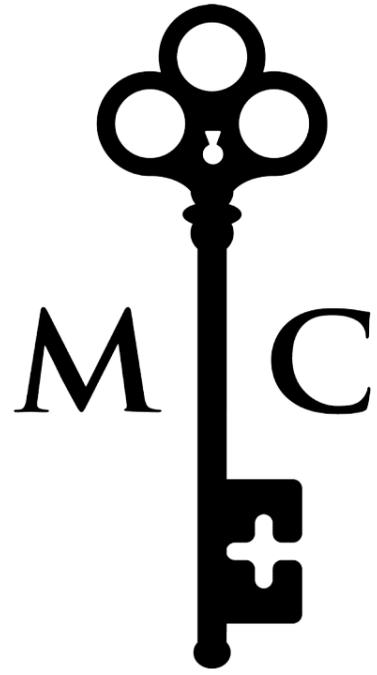




This fencing plan indicates the location of a six foot masonry fence that is used as a partition between residential and commercial areas. It will also be used along all major streets as an aesthetic screen for residential areas

Fence must be constructed of stone, masonry, or a combination of the two. Patterns and color selections can be found in the appendix.





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SECTION 5: APPENDIX

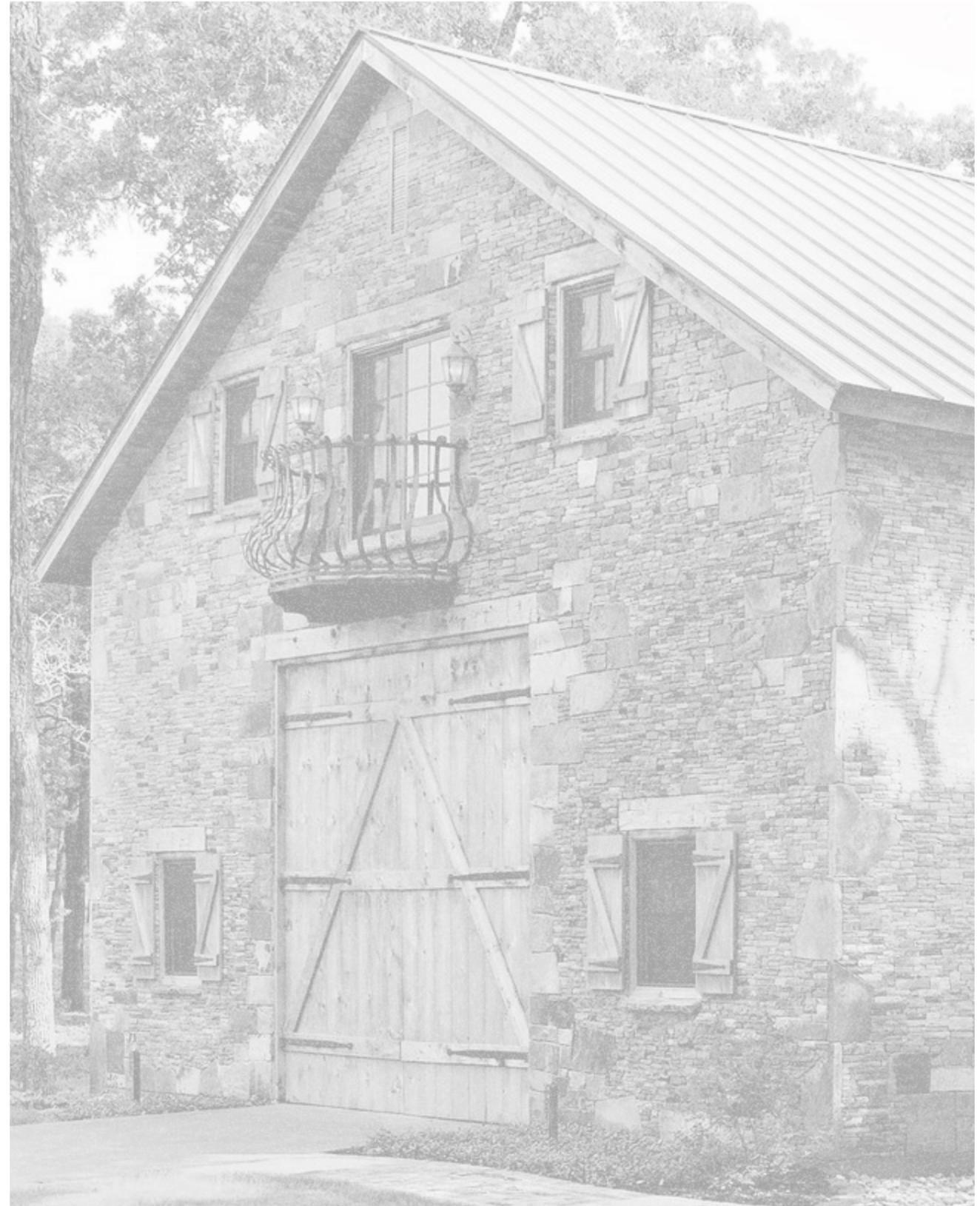


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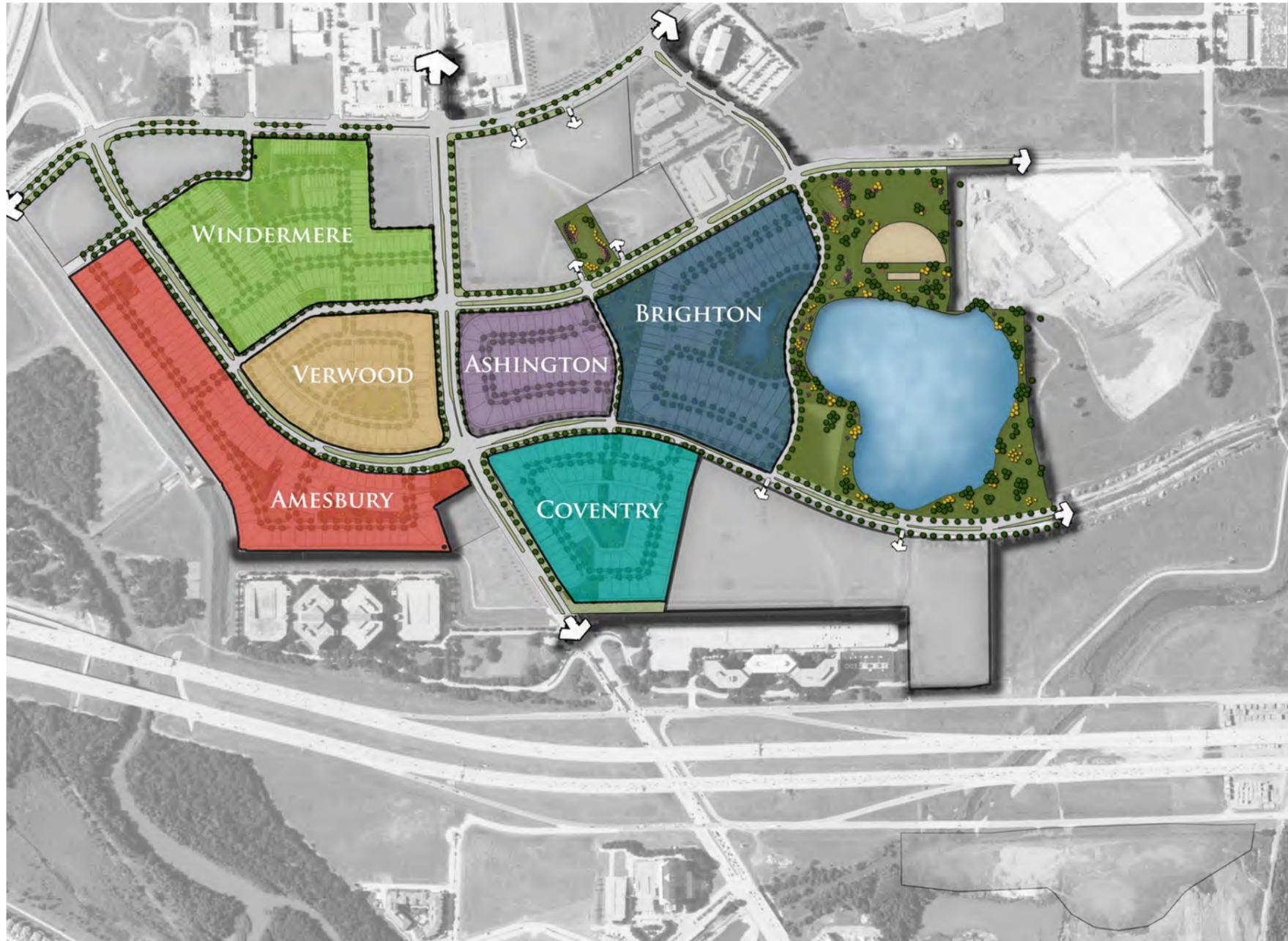




SECTION 1
INTRODUCTION

1.1 NEIGHBORHOODS

1.2 NEIGHBORHOOD LOGOS



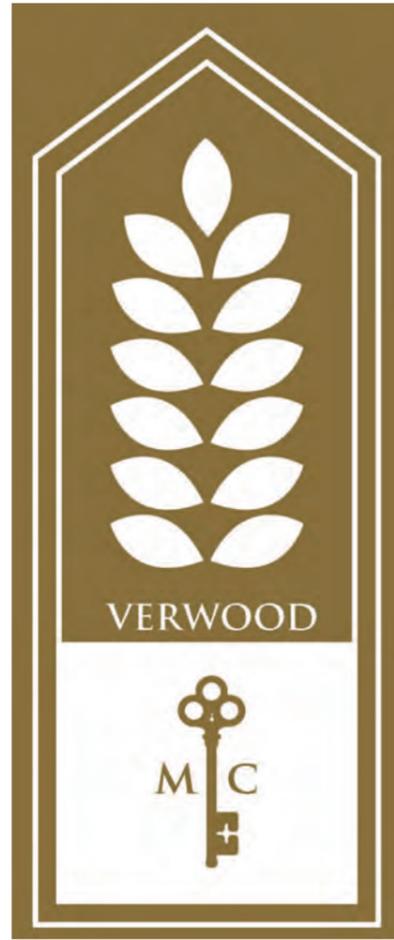
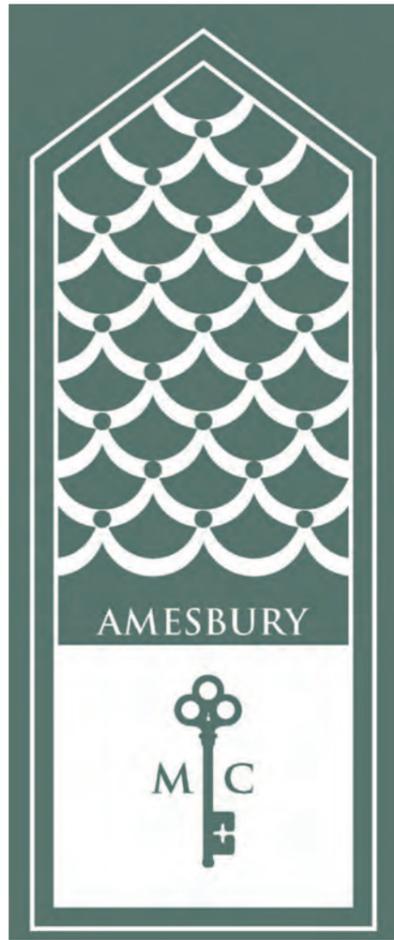
Each Single Family Neighborhood in Mercer Crossing shall create a distinct identity through the use of different entry feature elements, neighborhood names, and plant palettes. The look and feel of each neighborhood shall reinforce the Texas Tudor Theme of the overall community. The purpose of distinct neighborhoods is to create a unique atmosphere throughout the Mercer Crossing development and evoke a sense of place among the residents.

The names of the neighborhoods shall be as follows:

- Amesbury
- Ashington
- Brighton
- Coventry
- Verwood
- Windermere



1.1 NEIGHBORHOODS



1.2 NEIGHBORHOOD LOGOS



SECTION 2
LOT PATTERNS

2.1 LOT DESIGN STANDARDS

2.2 LOT LANDSCAPE

Type 3 - Single Family Residential

SFD-40 - Single Family Detached, 40' Width

Located in the same neighborhood as the attached townhomes, the 40' wide detached lots continue the transition from urban commerce to lower-density residential. Lots may feature a 5' side yard setback on either side, or a .5'/9.5' side yard setback for a zero-lot-line configuration. Refer to detailed site plan for exact location of residential lots.

SFD-40 Regulations: Architectural Elements:

Min. Lot Area: 4,200 SF

Min. Lot Width: 40'

Min. Lot Depth: 105'

Max. Height: 35'

Max. Stories: 2.5

Min. Front Yard Setback: 10' Rear-Load/ 10' J-Swing/25'
Front-Load

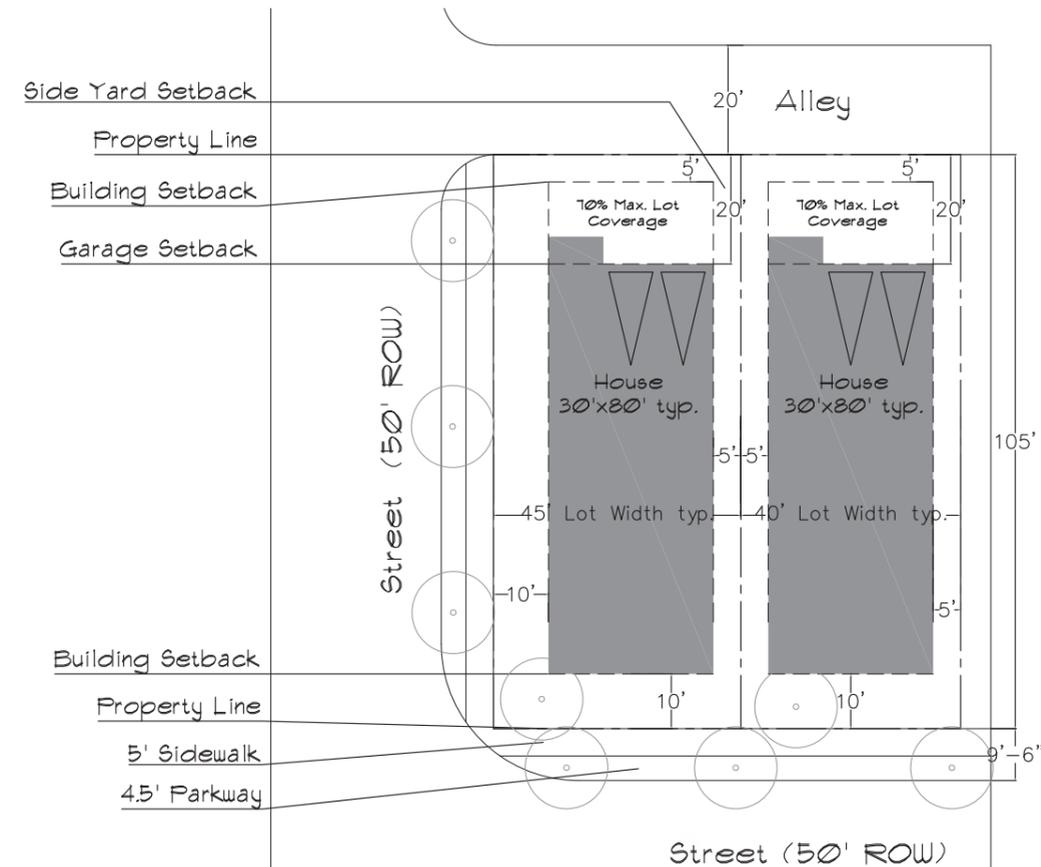
Min. Rear Yard Setback: 5' Rear-Load

Min. Interior Side Yard Setback: 5' or .5'/9.5' for zero-lot line homes

Garage Orientation: Rear

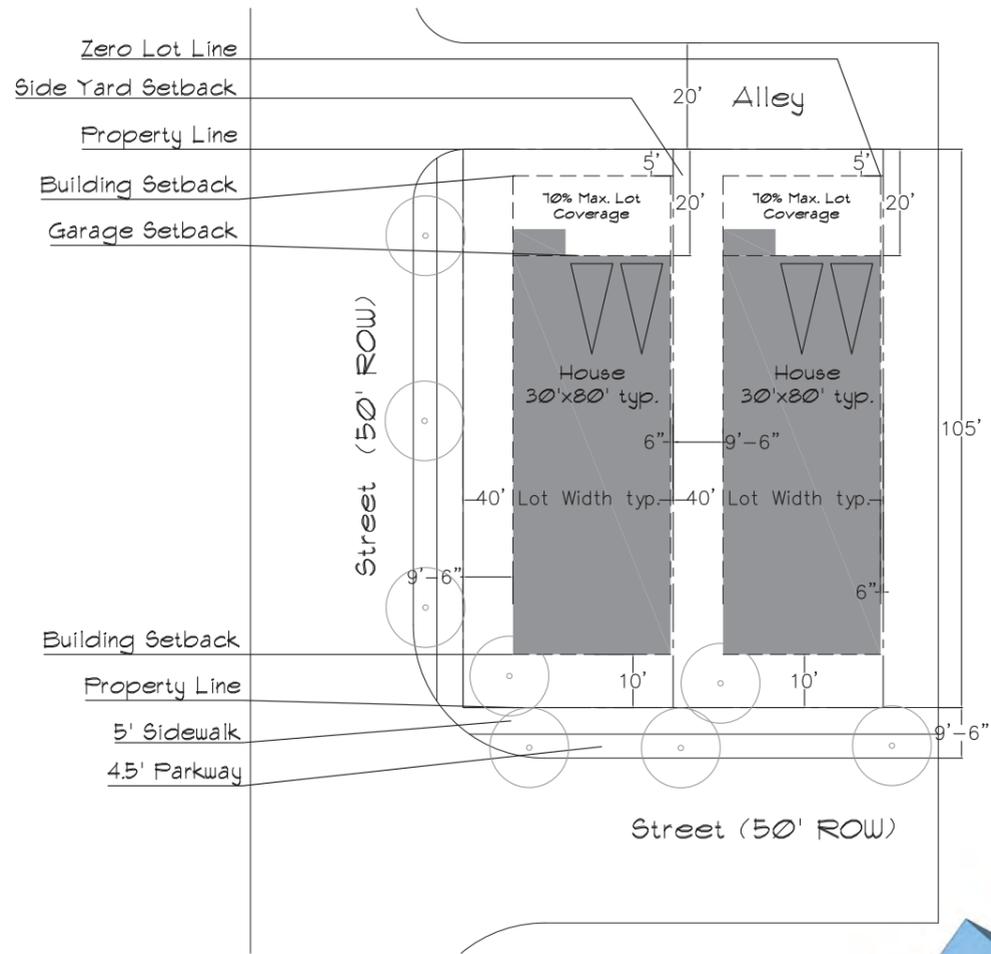
Min. Square Footage: 1,800 SF

Max. Lot Coverage: 70%



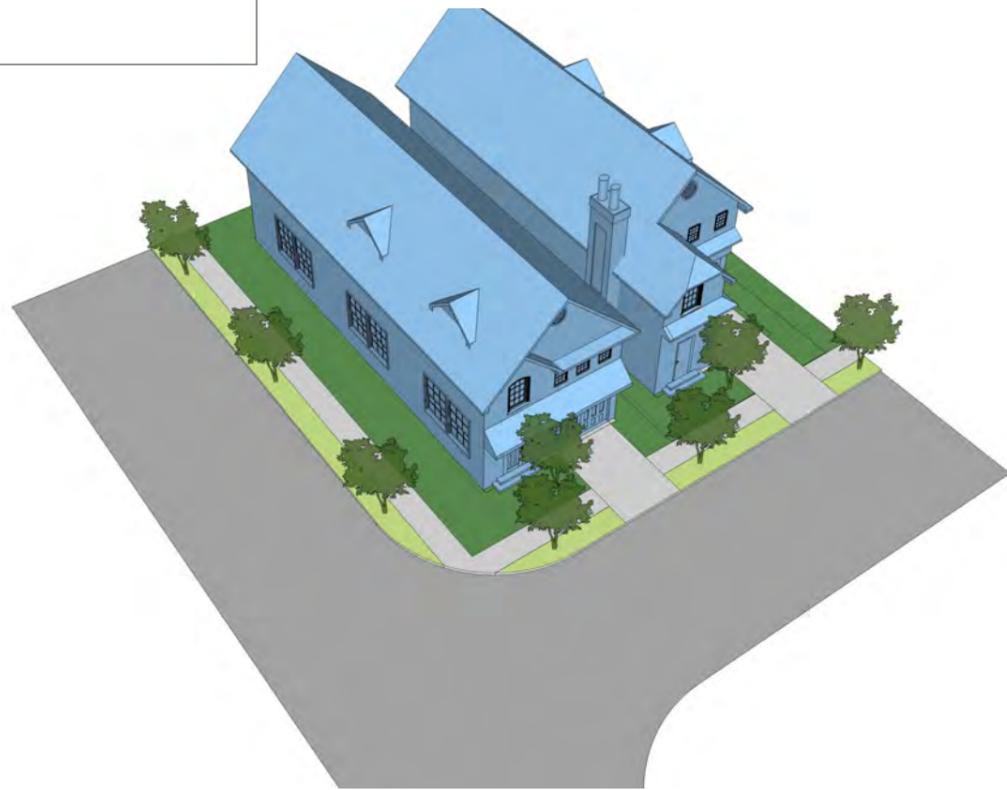
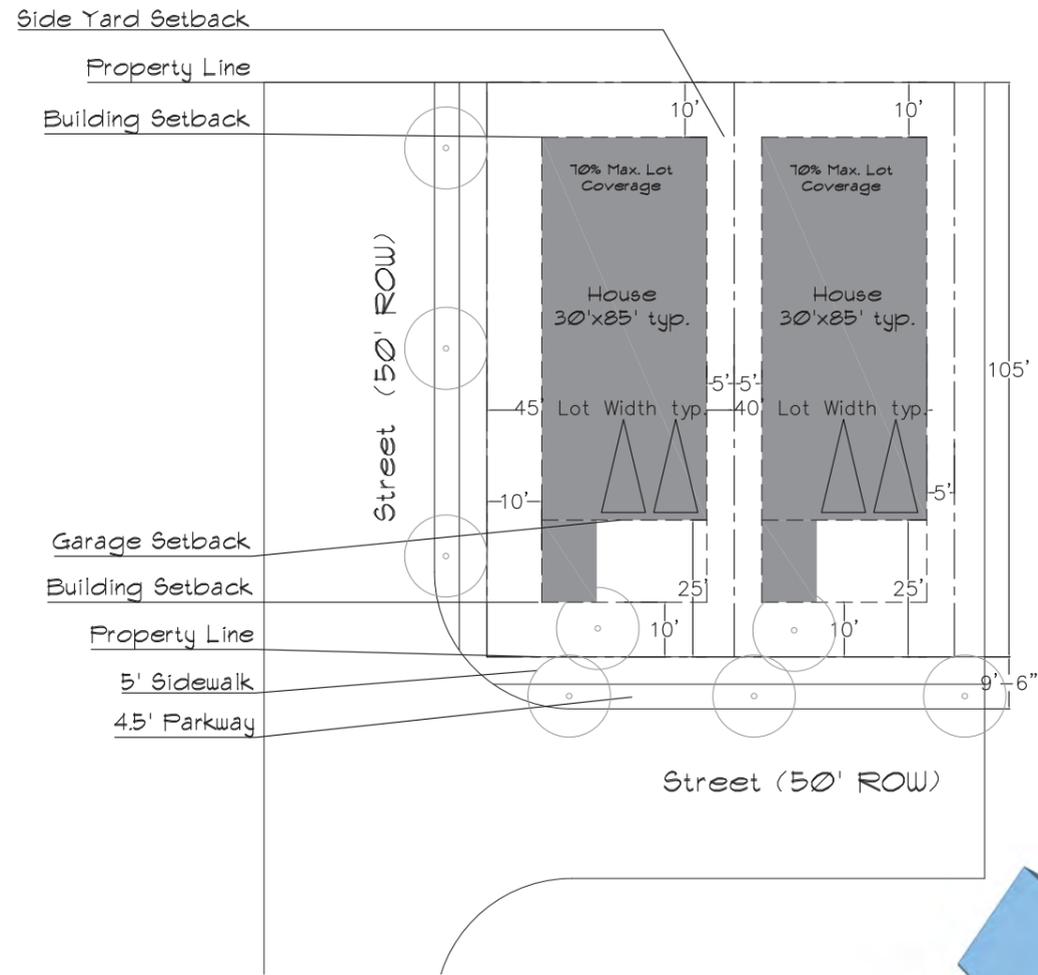
2.1 LOT DESIGN STANDARDS

40' REAR LOADING

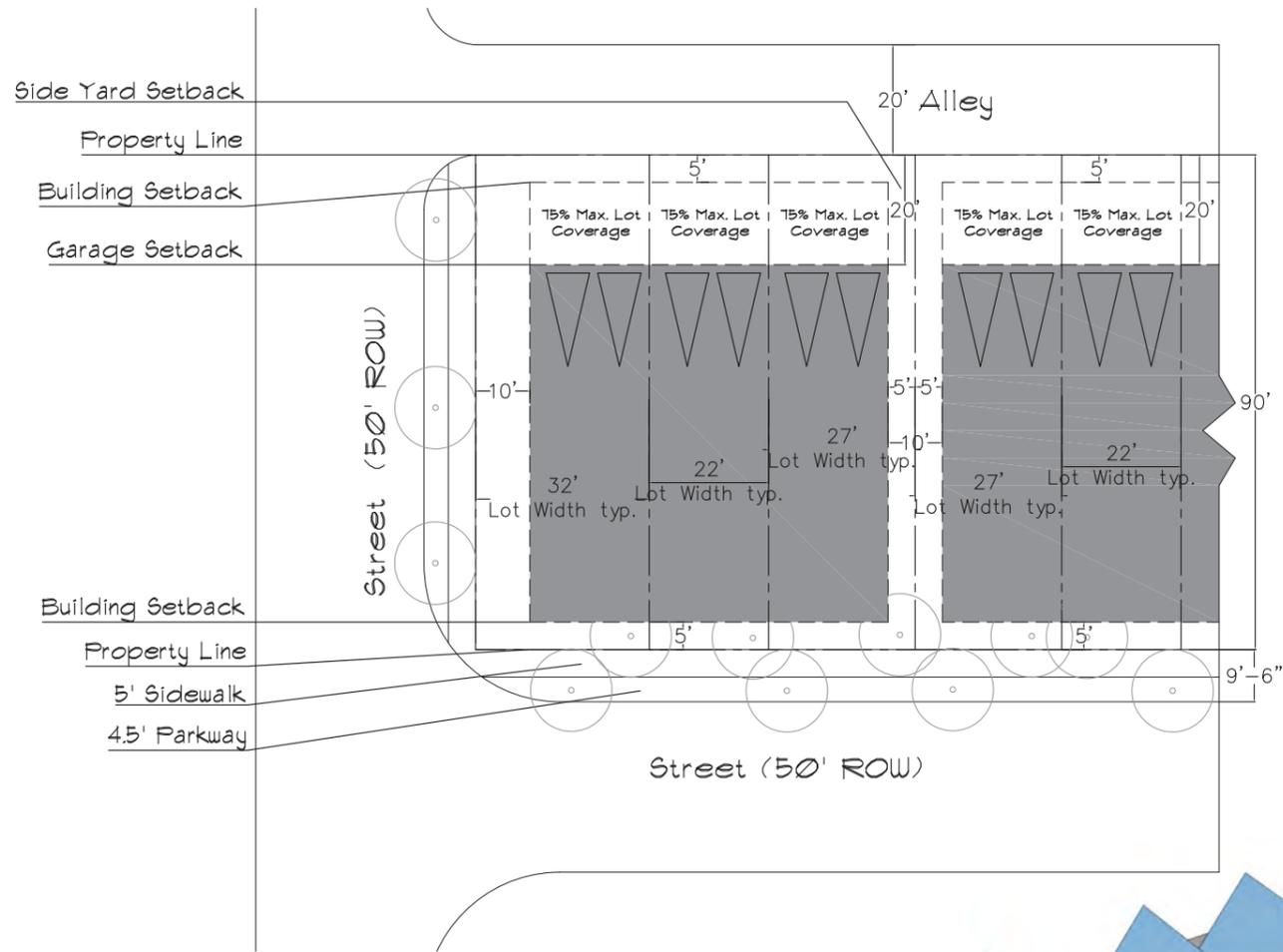


2.1 LOT DESIGN STANDARDS

40' REAR LOADING ZERO LOT LINE



2.1 LOT DESIGN STANDARDS
40' FRONT LOADING



SFA – Attached Townhome

Townhomes are located on the western half of Mercer Crossing, the residential neighborhood closest to Valley View Lane. The townhomes serve as a transitional use between the urban commerce parcels and the lower-density residential uses. Refer to detailed site plan for exact location of residential lots.

SFA Regulations:

- Min. Lot Area: 1,980 SF
- Min. Lot Width: 22'
- Min. Lot Depth: 90'
- Max. Height: 45'
- Max. Stories: 3.5
- Min. Front Yard Setback: 5'
- Min. Rear Yard Setback: 5'
- Min. Interior Side Yard Setback: N/A
- Garage Orientation: Rear Loading
- Min. Square Footage: 1,600 SF
- Max. Lot Coverage: 75%

* Townhomes shall be limited to building groupings that do not exceed 9 units in length with each building grouping required to have a building separation of not less than ten (10) feet between building groupings.



2.1 LOT DESIGN STANDARDS
TOWNHOMES

Type 1 - Single Family Residential

SFD-60 – Single Family Detached, 60' Width

SFD-60 is the largest residential lot size in the Mercer Crossing Urban Residential district. Located near the eastern boundary of the Mercer Crossing development, this neighborhood is centered on open space. The required rear-loading lot configuration provides a quiet streetscape and attractive street frontages. Refer to detailed site plan for exact location of residential lots.

SFD-60 Regulations:

Min. Lot Area: 6,300 SF

Min. Lot Width: 60'

Min. Lot Depth: 105'

Max. Height: 40'

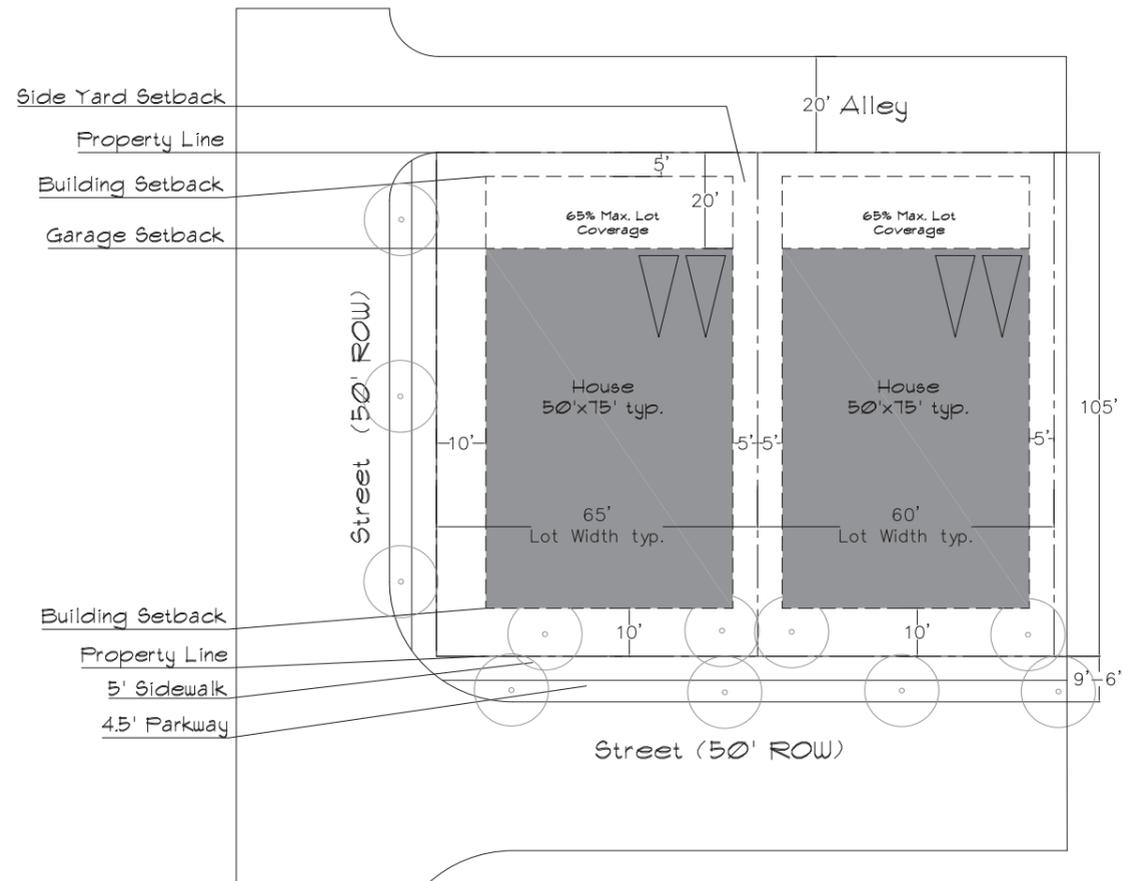
Max. Stories: 3.0

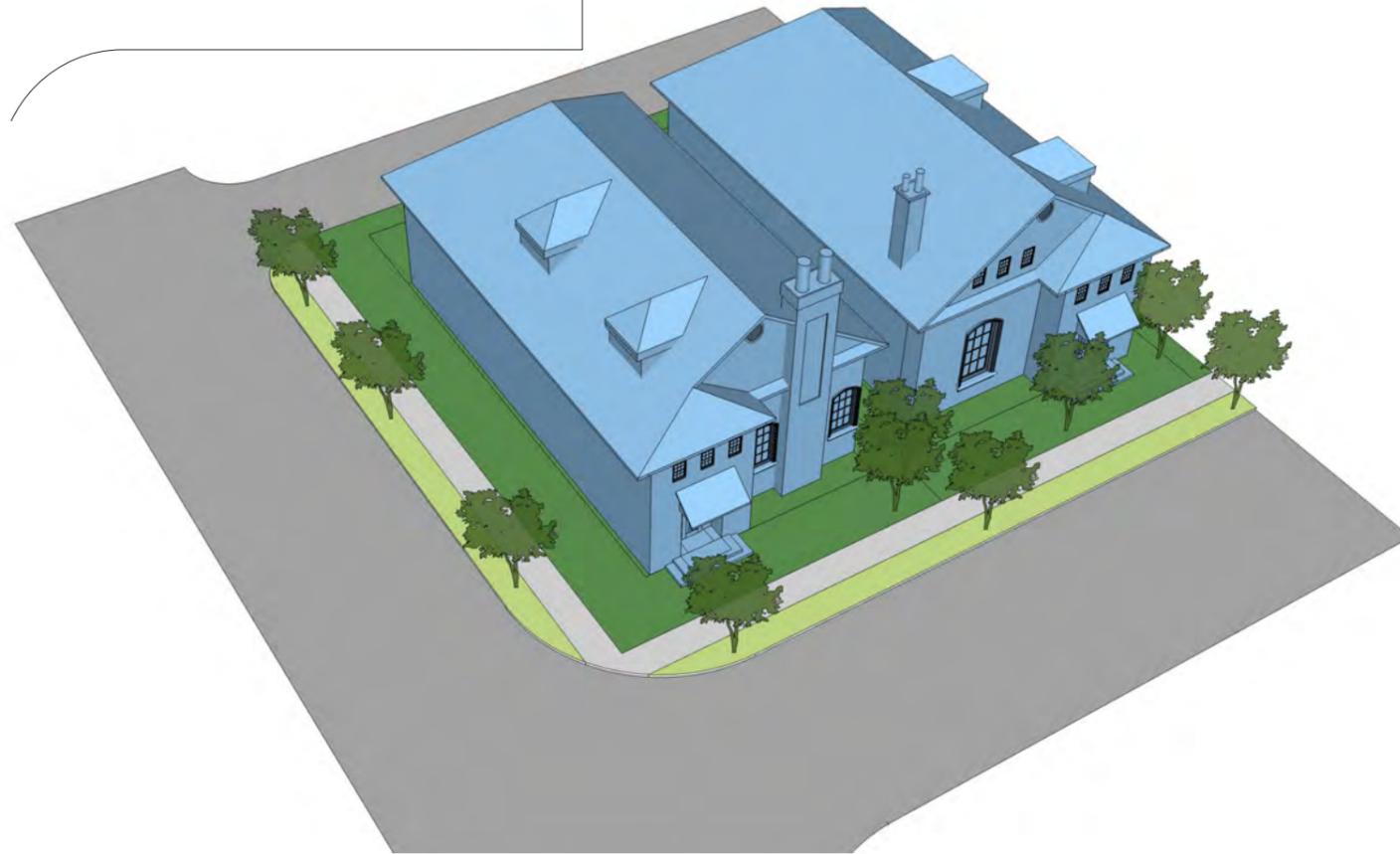
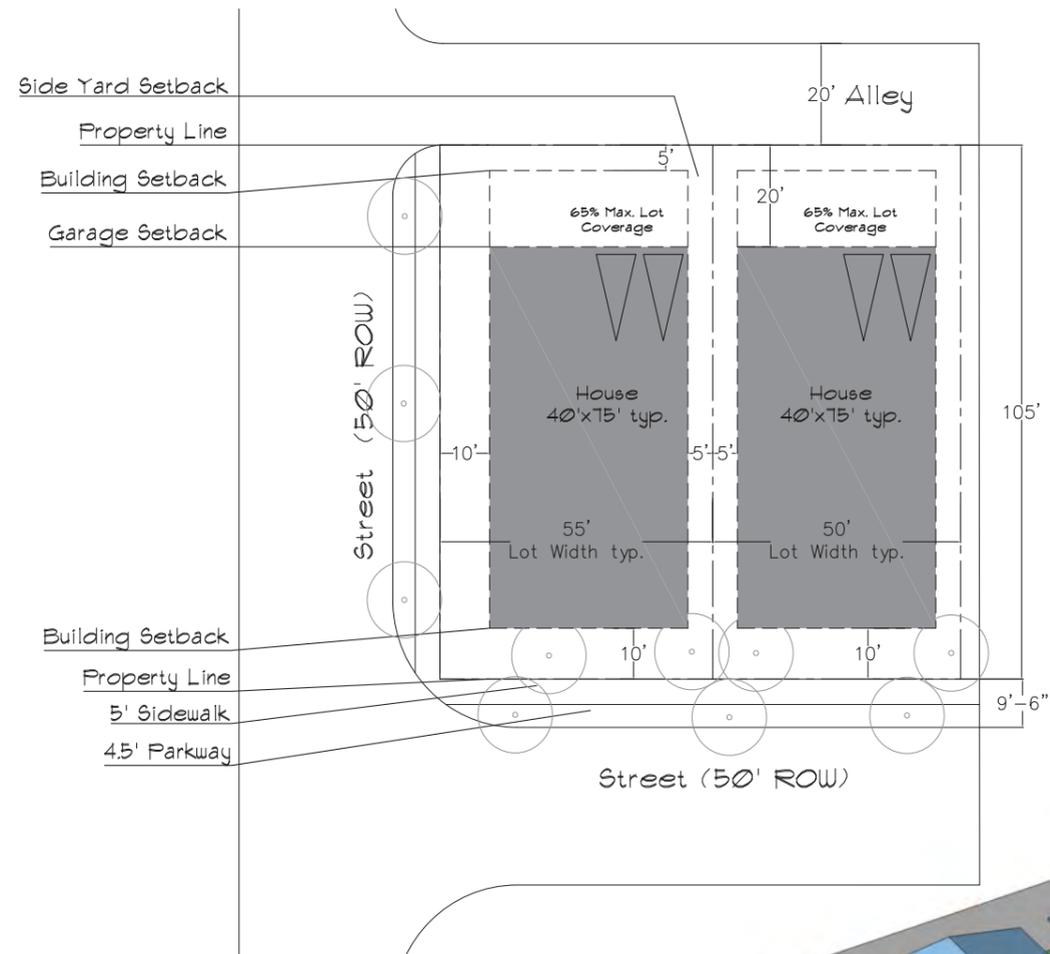
Min. Front Yard Setback: 10'

Min. Rear Yard Setback: 5'

Min. Interior Side Yard Setback: 5'

Garage Orientation: Rear Loading





Type 2 - Single Family Residential

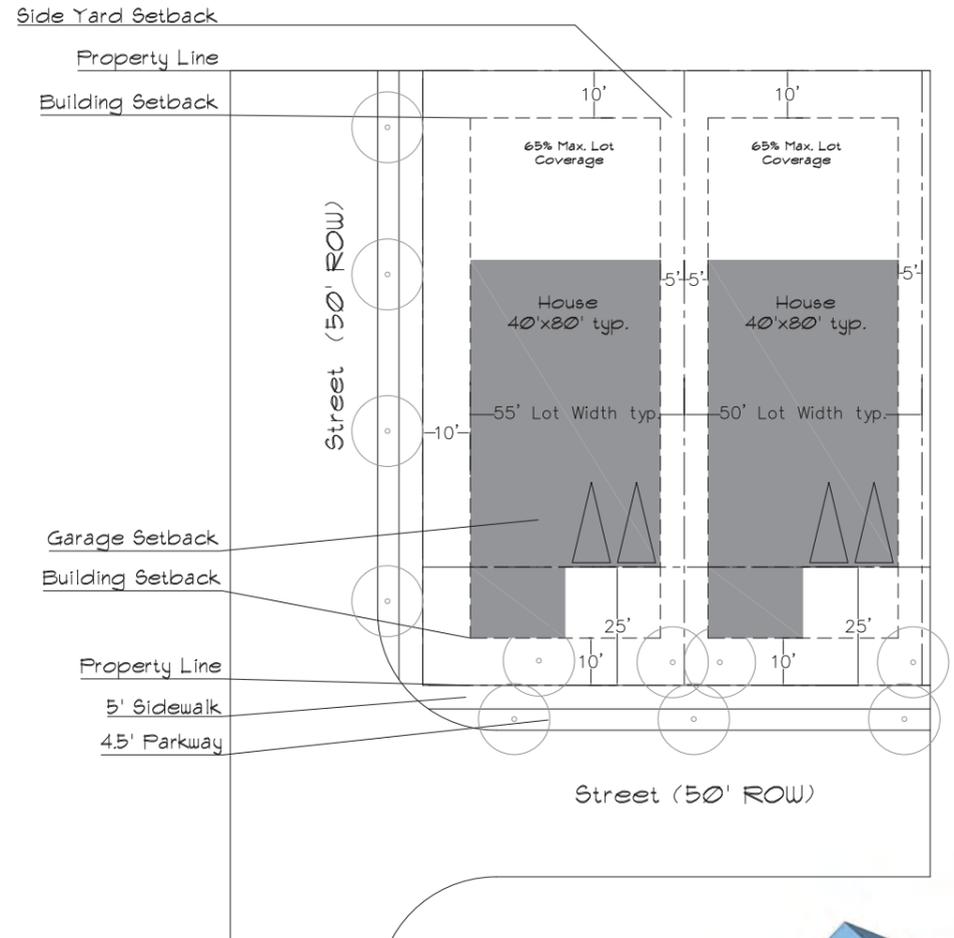
SFD-50 – Single Family Detached, 50' Width

The SFD-50 residential districts are traditional single-family detached neighborhoods, and are the most common lot size in Mercer Crossing. Lots can be either rear-loading or front-loading, with an option for J-swing garages. Refer to detailed site plan for exact location of residential lots.

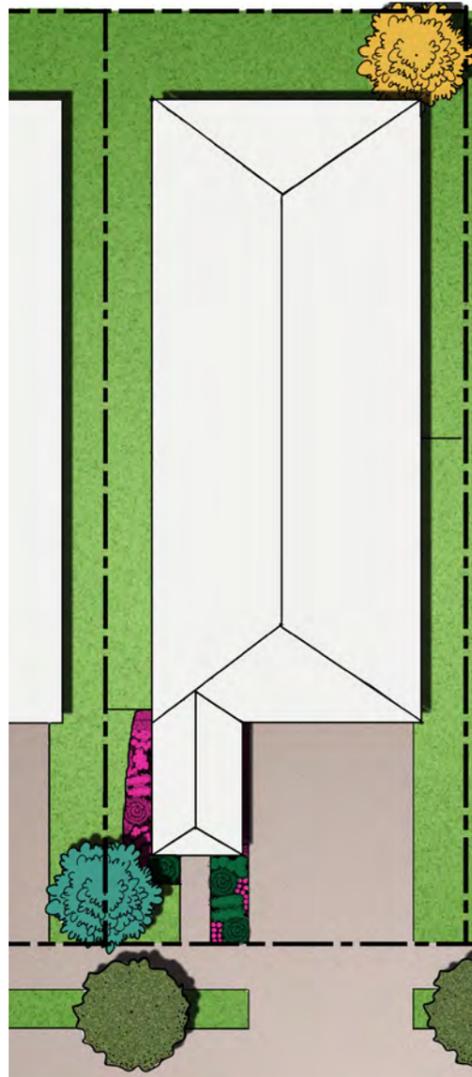
SFD-50 Regulations:

- Min. Lot Area: 5,250 SF
- Min. Lot Width: 50'
- Min. Lot Depth: 105'
- Max. Height: 35'
- Max. Stories: 2.5
- Min. Front Yard Setback: 10' Rear-Load/10' J-Swing/25' Front-Load
- Min. Rear Yard Setback: 5' Rear-Load/10' Front-Load
- Min. Interior Side Yard Setback: 5'
- Garage Orientation: Rear or Front Loading
- Min. Square Footage: 2,200 SF
- Max. Lot Coverage: 65%

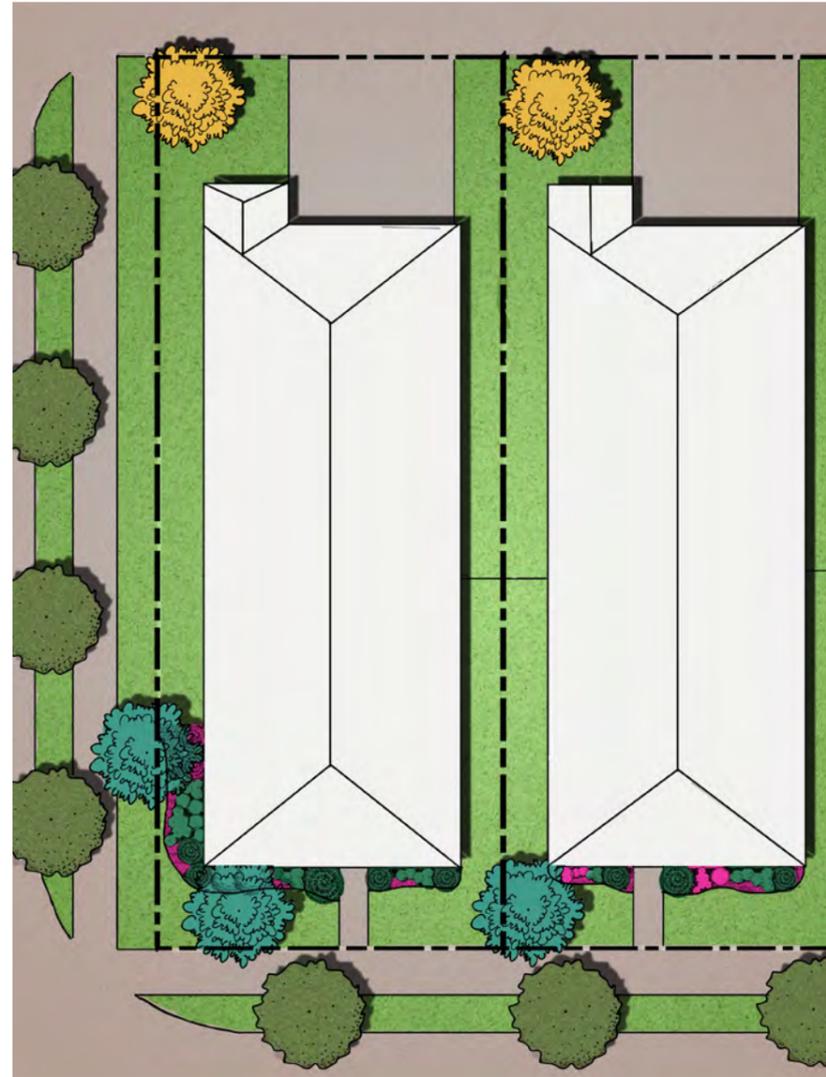




2.1 LOT DESIGN STANDARDS
50' FRONT LOADING LOT



40' Front Loading



40' Rear Loading- Corner Lot



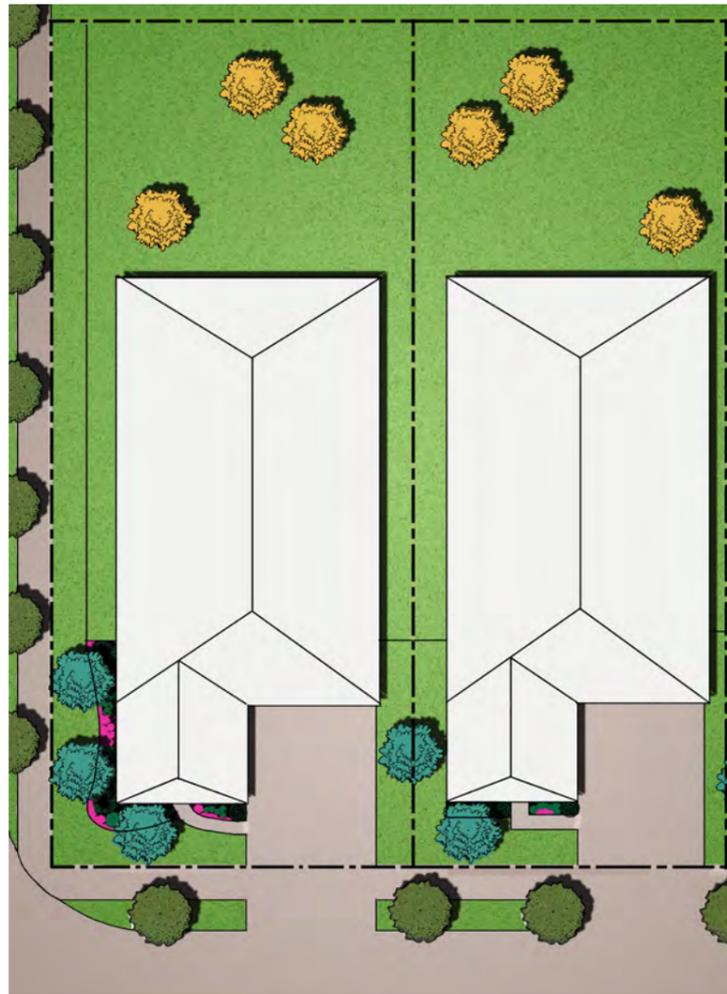
40' Zero Lot Line

The diagrams shown (left) demonstrate the required landscape and the strongly suggested enhancements that should be installed. All landscape installations shall follow an English country garden theme and all plants must come from the provided plant list in the appendix.

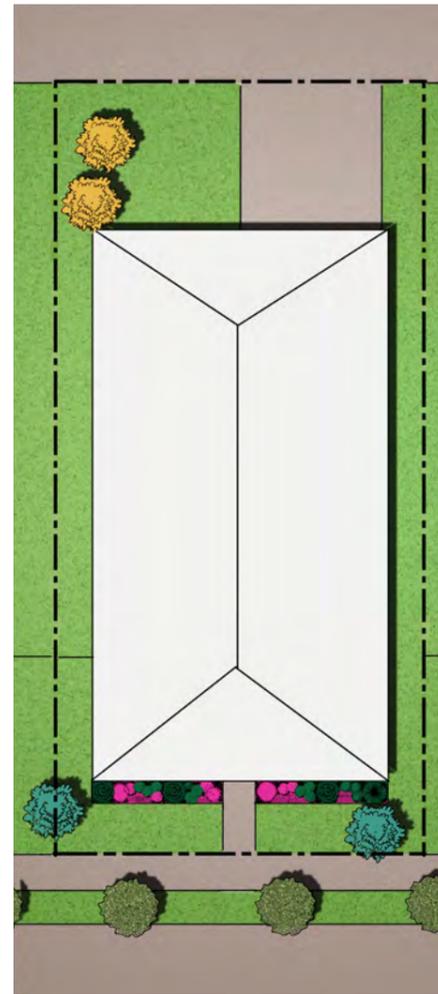
The minimum landscape requirement for a 40 foot residential lot is 1 large shade tree, 3 five gallon shrubs, and 8 one gallon shrubs. Any 40 foot corner lots must have the following additional requirement, 1 large shade tree, 4 five gallon shrubs, and 12 one gallon shrubs.

- Enhanced Shrubs
- Required Shrubs
- Enhanced Trees
- Required Trees
- Street Trees





50' Front Loading

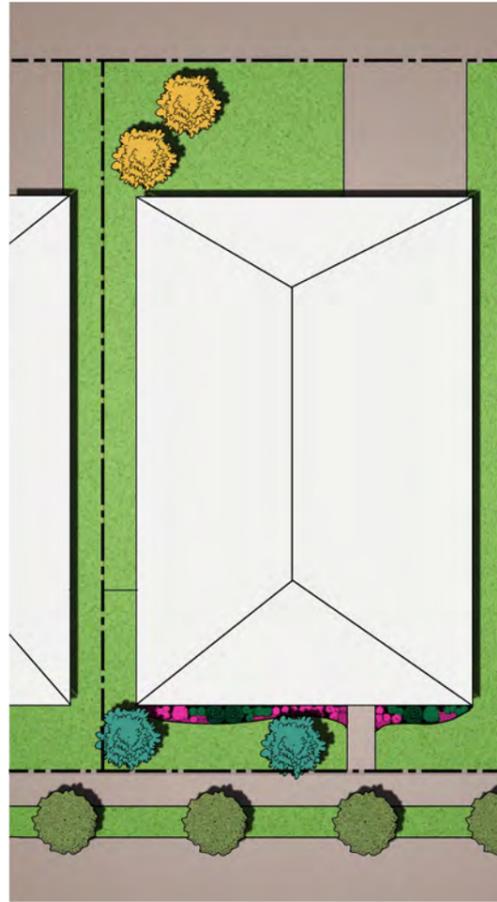


50' Rear Loading

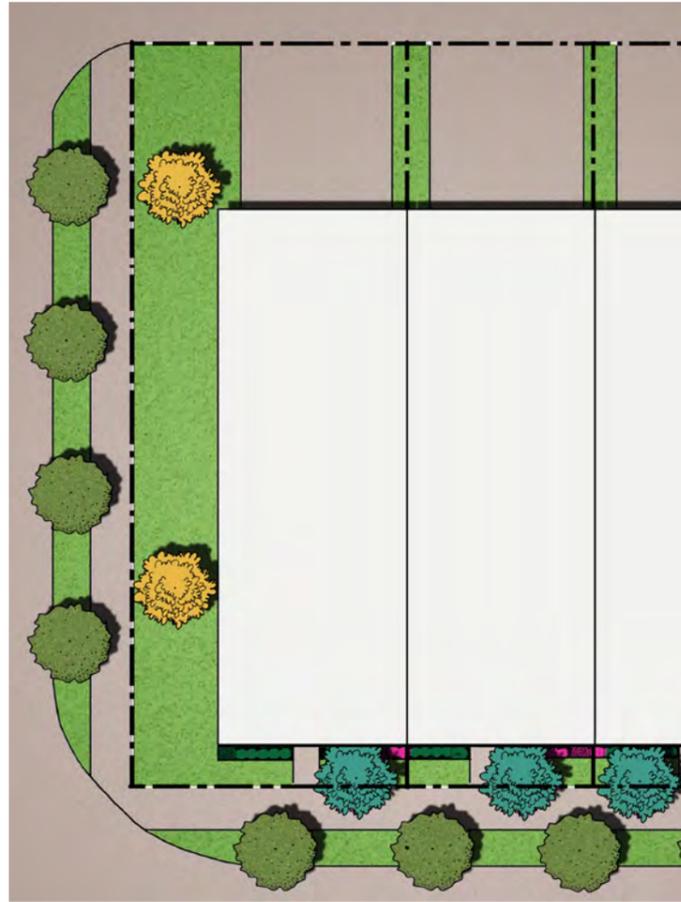
The minimum landscape requirement for lots over 50 foot residential lot is 2 large shade tree, 4 five gallon shrubs, and 12 one gallon shrubs. Any lot over 50 foot and on the corner must have the following additional requirement, 1 large shade tree, 4 five gallon shrubs, and 12 one gallon shrubs.

- Enhanced Shrubs
- Required Shrubs
- Enhanced Trees
- Required Trees
- Street Trees





60' Front Loading



Townhomes

The minimum landscape requirement for a lots under 40 foot residential lot is 1 large shade tree, 2 five gallon shrubs, and 6 one gallon shrubs. Any lots under 40 foot and on the corner must have the following additional requirement, 1 large shade tree, 4 five gallon shrubs, and 12 one gallon shrubs.

- Enhanced Shrubs
- Required Shrubs
- Enhanced Trees
- Required Trees
- Street Trees





SECTION 3 ARCHITECTURAL STANDARDS

- 3.1 NEIGHBORHOOD DIVERSITY
- 3.2 FACADE & MATERIALS
- 3.3 WINDOWS
- 3.4 DOORS & ENTRANCES
- 3.5 ROOF ELEMENTS
- 3.6 CHIMNEYS
- 3.7 GARAGE
- 3.8 MAILBOXES & ADDRESSING
- 3.9 CONCEPTUAL ELEVATIONS



Architectural Diversity for Single Family Detached

In order to promote architectural diversity within the neighborhoods, facade elements should vary from house to house. By highlighting variations of the following architectural elements each neighborhood will seem unique in nature. For complete understanding of the builder's elevation please refer to the detailed site plan.

- Balcony
- Front Porch
- Chimney
- Patio Courtyard
- Masonry, stone, or cast stone accents
- Double entry doors
- Covered entry
- Dormers
- Cedar shutters
- Natural stone (25% front facade)
- 10:12 or greater roof pitch
- Gables with architecture feature
- Arch top windows
- Circle top windows
- Stained wood columns



3.1 NEIGHBORHOOD DIVERSITY



Building Facade

Residential facades should include characteristics consistent with the overall theme. Facades should be articulated and include a combination of materials or architectural accents to look inviting from the street. Most homes in Mercer Crossing are rear-entry, which allows the garage door to be hidden from the street and enhances the overall appearance of the front facade.

Facade Materials

Materials for the residential facades shall be predominately masonry, which includes a combination of brick, stone, or stucco. A variety of brick and stone patterns can be incorporated into each facade to create architectural interest. Soldier course and herringbone are just a couple of brick patterns that may be used in a facade. A variety of stone patterns, such as split-face, rectilinear, or stacked stone, can also be used to compliment and enhance the architectural style of a home. The use of stucco shall be cementitious plaster with a smooth finish. A combination of these masonry materials shall make up at least 75% of the facade area.

Secondary materials may include hardi-plank, provided that it is no more than 25% of the facade. Accent materials may be used for up to 5% of the facade and include a variety of materials for architectural elements such as trim, soffits, eaves, lintels, shutters, and cornices. Other materials may include pre-cast masonry or gypsum reinforced fiber concrete. Wood or faux wood may also be used for trim, eaves, soffits, eave brackets, and shutters to accentuate the Texas Tudor theme and may be used up to 25% of the facade for this purpose.

Architectural elements such as clipped gables, half timbering, columns, and arched windows are encouraged for the residential street-facing facades. Elements such as these contribute to the overall community theme and unify the neighborhoods with consistency, and also provide an upscale feeling.



3.2 FACADE & MATERIALS



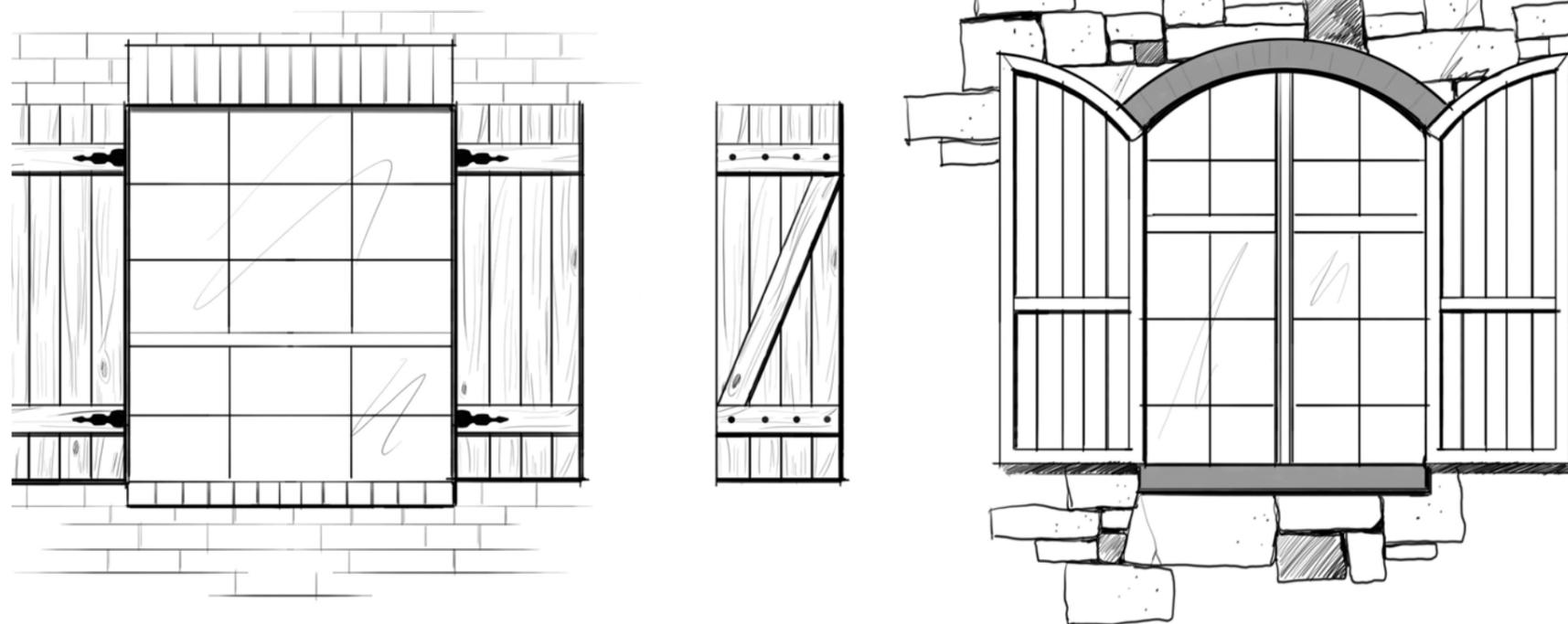
A variety of window styles may be used to reinforce the architectural theme. Examples that are highly indicative of the Texas Tudor theme include windows with an eyebrow arch made of brick soldier course or windows with shutters. Dormers projecting through the roof are also indicative of the community theme, and may be constructed of a different facade material to be more decorative.

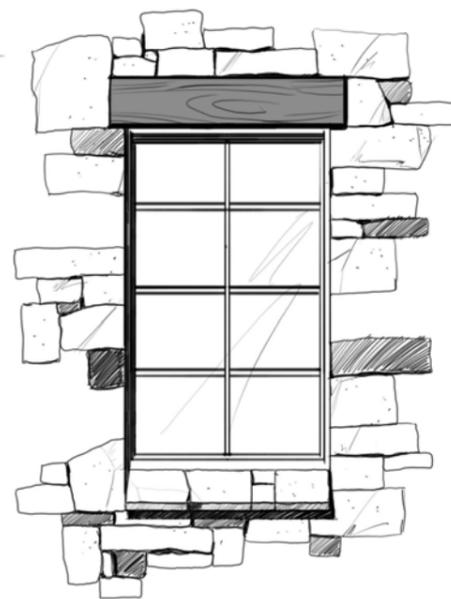
Windows shall be appropriately scaled on the facade. The horizontal dimension of the window opening shall not exceed the vertical dimension, except that a maximum of five windows may be mulled together to form a compound window. This compound window may be wider than it is tall as long as each window is separated by a mullion, column, pier, or wall section.

The use of window panes is encouraged. Raised or internal muntins and a variety of patterns such as England, colonial, or diamond. The casing and mullions should consist of earth tone colors and should frame the windows in such a way as to make them stand out.

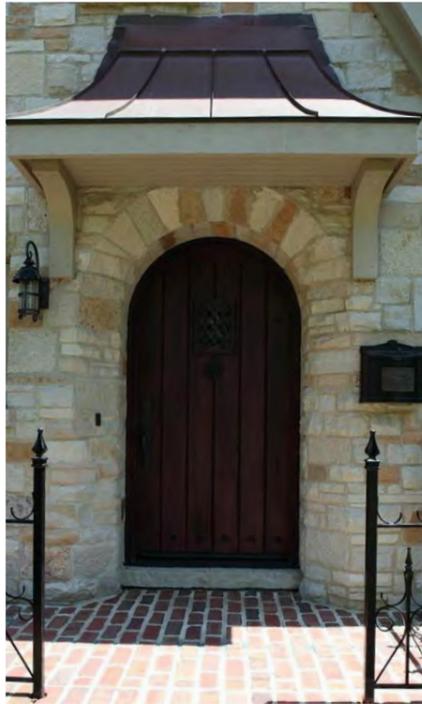
Window canopies and awnings may be used to accentuate the window and may consist of metal, tile, slate or shingled roofing. Mansard style window awnings, the use of bay windows, and canopies help break up the facade plane, enhance architectural quality, and give the homes character.

The use of window screens is allowed provided that the color of the screen is black or gray. Solar screens are not allowed on a facade that faces a public space, including streets, alleys, or parks. Specialty windows, like stained-glass, opalescent, or glass block, can be incorporated into the design.





3.3 WINDOWS



Doors

Front doors that face the street may be wood or consist of a wood simulation material. There shall be at least two door panels. Doors may predominantly consist of glass or opalescent glass. The use of iron or metal accents is encouraged on doors that are mostly glass to enhance the residential architectural style.

Painted doors are allowed provided that the color is consistent with the theme. The use of earth tone colors on front doors is encouraged.

Entrances

Residential entries should be sheltered with a porch, canopy, or awning, and should be distinguishable from the street. A sidewalk from the street to the front door shall be provided so that residents and visitors can park on the street and walk to the front door with ease. In some cases, a stoop may be necessary.

The porch floor may consist of either brick, concrete, or stamped and stained concrete. Porch lights are important to emphasize the entrance, and may include lights inside the porch area that are mounted to the ceiling, or wall sconces. Gutters are required on sloped roof entrances.

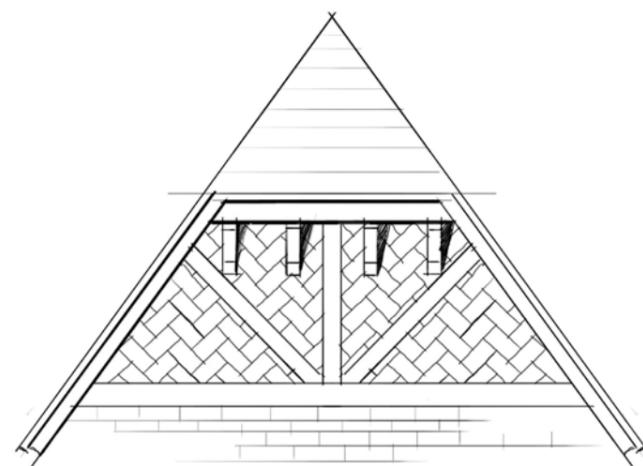


3.4 DOORS & ENTRANCES



Residential roofs should include a variety of pitched roofs with hip and gable styles at symmetrical slopes of 8:12 or greater. Steep roofs are encourage to reinforce the architectural theme. Flat roofs may be used on attached homes provided that a parapet is include to so that the roof is not visible from the ground.

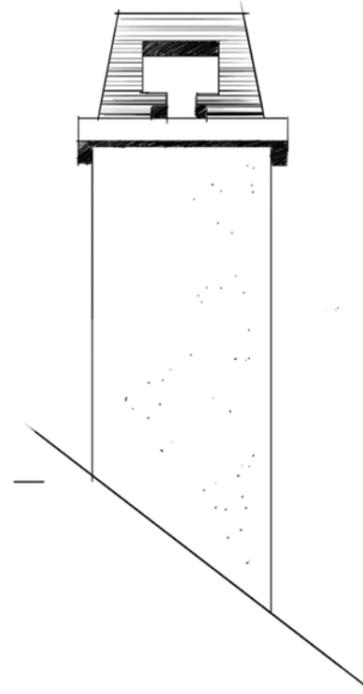
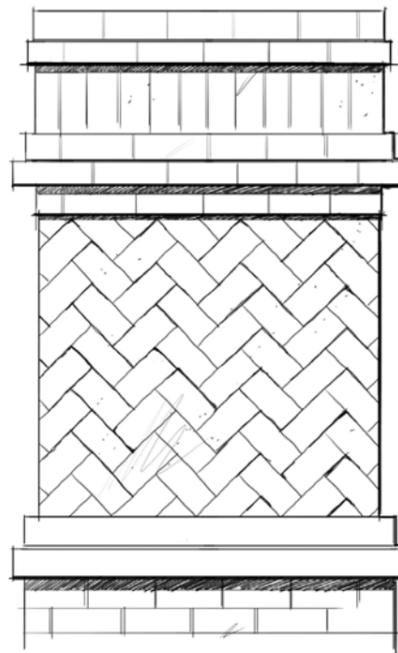
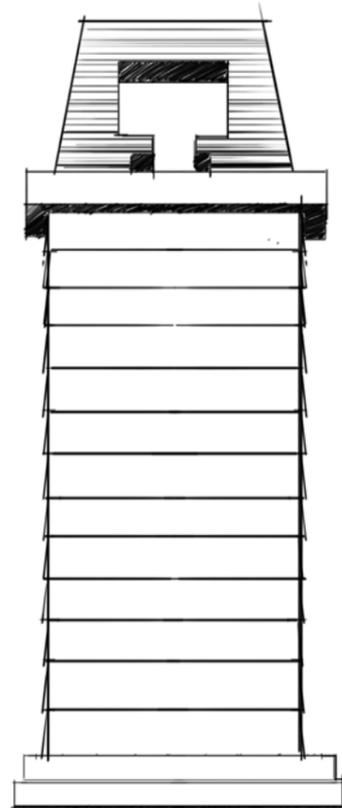
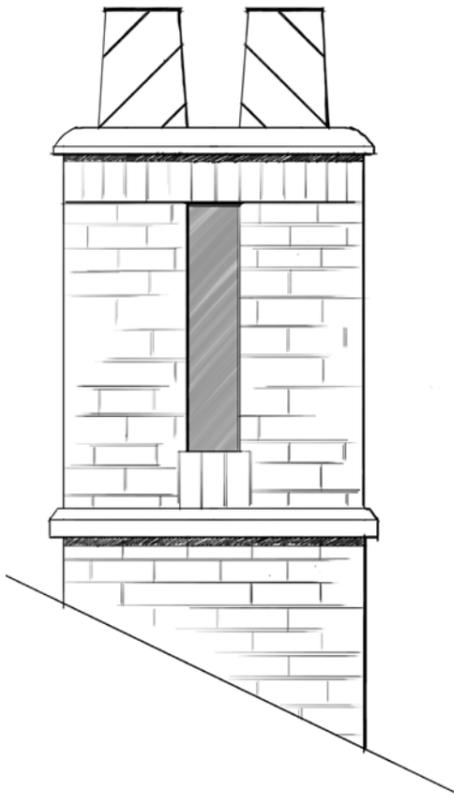
Roofs should consist of one dominant material with accent roof materials used on canopies or awnings. Materials may include asphalt shingles (at least 30 year composition), or tile (clay or concrete). Metal standing seam may be used on canopies for porches, windows, and accent roofs. Cornices, soffits, eaves, and eave brackets may be wood, metal, or Hardi-plank. Clipped gables may be included to enhance the architectural theme. Half timbering may also be used in gables to create the English look and feel. Dormers and chimney chases shall consist of masonry or Hardi-plank. Fireplace flues shall be enclosed in a finish that compliments the architectural style of the home.



3.5 ROOF ELEMENTS



A key element of the Texas Tudor style is the added character that comes from the elaborate chimneys. As shown to the left, chimneys shall be constructed of stone or masonry, and all chimneys should depict the Tudor style as shown in the provided example photos. The use of decorative terra cotta chimney pots is highly encouraged to enforce the architectural style, but not required.



Rear Entry Examples



Front Entry Examples



Creating an attractive, high-quality streetscape encourages pedestrian activity and promotes a sense of community among residents. In order to enhance the overall appearance of the neighborhoods and emphasize pedestrian entries to the home, garage doors are subject to the following restrictions:

1. Rear-loading garage doors shall be decorative aluminum or real wood cedar veneer.
2. Front-loading garage doors shall be real wood cedar veneer.
3. Front-loaded garages must be recessed a minimum of 5 feet from the front facade, unless the garage is perpendicular to the street (j-swing).

Additionally, elements such as decorative metal hinges and door handles may be used to enhance the Texas Tudor theme.





In all residential areas USPS-approved cluster mailboxes shall be used. Mailboxes should be cohesive in material in that they reflect the Texas Tudor design theme. Acceptable materials and color palettes can be found the attached appendix.

All mailboxes locations are subject to approval by the U.S. Postal Service and can be found on the detailed site plan.





The brick detailing and standing seam accents make this a great rear entry example.



The above image sets an ideal standard for the Texas Tudor Design theme. The chimney detail, brick patterns, and color palette are all strong architectural elements.



The image above is an excellent variation of the top left elevation. By varying colors of materials the same look can easily be accomplished.



In this image the half timbering and multi-paned windows are the highlighted Texas Tudor elements to replicate.



3.9 CONCEPTUAL ELEVATIONS



There are very few front entry lots in Mercer Crossing, but this is a prime example to be used. The brick details, half timbering inlay reinforce the Texas Tudor style.



This is another great front entry elevation. The intricate detail on the chimney and the use of native materials are the very definition of Texas Tudor.



The multiple Texas Tudor elements include: eyebrow windows, cedar shutters, herringbone brick details, and native building materials.



The above townhome elevation includes Standing seam accents, multi-paned windows, half timbering, and an acceptable color palette.



3.9 CONCEPTUAL ELEVATIONS



SECTION 5
APPENDIX

5.1 PLANT PALETTE

5.2 SHINGLE PALETTE

5.3 BRICK PALETTE

5.4 STONE PALETTE

5.5 SHEET METAL PALETTE

5.6 EXTERIOR PAINT PALETTE

TREES



Thornless Honey Locust
Gleditsia triacanthos



Chinese Pistache
Pistacia chinensis



Shumard Oak
Quercus shumardi



Red Oak
Quercus buckleyi



Chinquapin Oak
Quercus muhlenbergii



Live Oak
Quercus virginia



Lacebark Elm
Ulmus parvifolia



Cedar Elm
Ulmus crassifolia



Pecan
Carya Illinoensis



Pond Cypress
Taxodium Ascendens



Bald Cypress
Taxodium distichum



5.1 PLANT PALETTE

ORNAMENTAL TREES



Texas Red Bud
Cercis Canadensis var. Texensis



Crepe Myrtle
Lagerstromia Indica -all varieties



Magnolia
Magnolia grandiflora



Bur Oak
Quercus macrocarpa



Vitex
Vitex angus-castrus



Desert Willow
Chilopsis linearis



Yopaun
Ilex vomitoria -all varieties



Caddo Maple
Acer saccharum



5.1 PLANT PALETTE

LARGE SHRUBS



Blue Point Juniper
Juniperus chinensis



Taylor Juniper
Juniperus virginiana 'Taylor'



Skyrocket Juniper
Juniperus scopulorum 'Skyrocket'



Nellie Stevens Holly
Ilex Nellie R Stevens



Fosters Holly
Ilex x attenuata 'Fosteri'



Burford Holly
Ilex cornuta -all varieties



Abelia
Abelia gradniflora



Forsythia
Forsythia x intermedia 'Kolgold'



SMALL SHRUB



Indian Hawthorn
Raphiolepis indica



Burford Holly
Ilex cortuna burfordii nana



Texas Sage
Leucophyllum F. Silverado



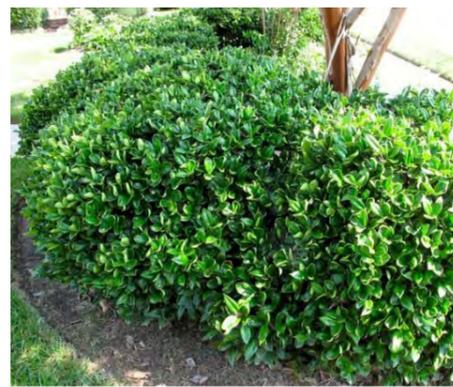
Rose of Sharon
Hibiscus Syriacus



Flowering Quince
Chaenomeles japonica



Lemon Lime Nandina
Nandina domestica 'lemon lime'



Carissa Holly
Ilex cortuna 'Carissa'



Boxwood
Buxus sempervirens



Rosemary
Rosmarinus officinalis



Dwarf Wax Myrtle
Myrica cerifera



Barberr
Berberis -all varieties



Spirea
Spirea japonica



VINES



Coral Honeysuckle
Lonicera sempervirens



Carolina Jasmine
Gelsemium sempervirens



Boston Ivy
Parthenocissus tricuspidata



Cross Vine
Anisostichus carpreolata



Clematis
Clematis -all varieties



Evergreen Wisteria
Millettia reticulata



GROUND COVERS



Asian Jasmine
Trachelospermum asiaticum



Liriope
Liriope gigantea



Mondo
Dwarf lilyturf



Purple Pixie Fringe Flower
Loropetalum chinense



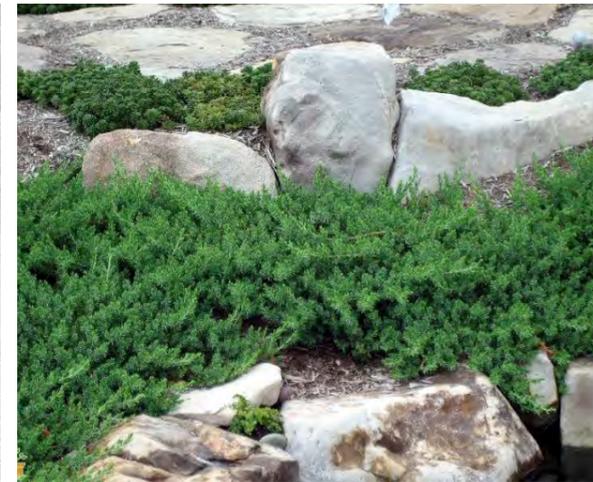
Moneywort
Lysimachia nummularia



Vinca
Vinca minor



Bar Harbor Juniper
Juniperus horizontalis 'Bar Harbor'



Blue Pacific Shore Juniper
Juniperus conferta 'Blue Pacific'



ORNAMENTAL GRASSES



Gulf Muhly
Muhlenbergia capillaris



Blue Grama Grass
Bouteloua gracilis



Karl Foerster Grass
Calamagrostis x acutiflora



Javelin Rush
Juncus pallidus



Little Bluestem
Schizachyrium scparium



Northwind Switch Grass
Panium virgatum 'Northwind'



Inland Sea Oats
Chasmanthium latifolium



Weeping Love Grass
Eragrostis curvula



Sideoats Gramma
Bouteloua curtipendula



Dwarf Maiden Grass
Miscanthus sinensis



Mexican Feather Grass
Nassella tenuissima



PERENNIALS



Autumn Sage
Salvia greggii



Butterfly Bush
Buddleja



Lamb's Ear
Stachys byzantina



Turk's Cap
Malva viscosa



Purple Coneflower
Echinacea purpurea



Blackfoot Daisy
Melampodium leucanthum



Dotted Gayfeather
Liatris punctata



Tickseed
Coreopsis -all varieties



Russian Sage
Perovskia atriplicifolia



Gaura
Oenothera lindheimeri



Daylilies
Hemerocallis -all varieties



Artemisia
Artemisia tridentata



Blackeyed Susan
Rudbeckia hirta



5.1 PLANT PALETTE

PERENNIALS



Pink Skullcap
Scutellaria suffrutescens



English Lavendar
Lavandula angustifolia



Lavendar Cotton
Santolina chamaecyparissus



Shasta Daisy
Leucanthemum x superbum



Mexican Hat
Ratibida columnifera



Texas Lantana
Lantana urticoides



White Mistflower
Ageratina huanensis





Adobe Clay



Golden Harvest



Autumn Harvest



Stonewood



Mesa Brown



Dusky Gray



Mission Brown



Barkwood

**All swatches acquired from local manufacture, and serve as a color guide only. Any substitutions must be approved by the ARC.



5.2 SHINGLE PALETTE



Old Denver



Cedar Valley



Olde Towne



Ole South



Pine Ridge



Alton Bridge



Ross Ridge



Burgundy



Torrington



Windermere

**All swatches acquired from local manufacture, and serve as a color guide only. Any substitutions must be approved by the ARC.



5.1 BRICK PALETTE



Blue Brown Mill Ends



Blue Hachett Chop



Double Blue Gray Chopped



Golden Canadian



Sunray Tumbled



Sugarloaf Random



Blue Brown Wister Mix

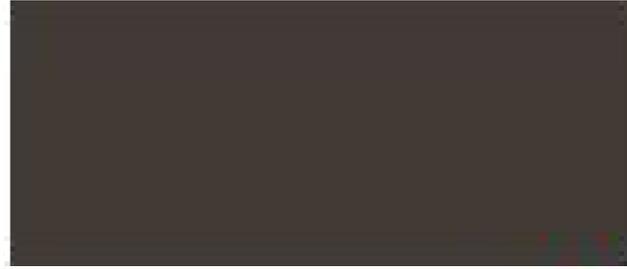


Grayson Multi-height Tumbled

**All swatches acquired from local manufacture, and serve as a color guide only. Any substitutions must be approved by the ARC.



5.1 STONE PALETTE



Burnished Slate



Koko Brown



Medium Bronze



Charcoal Gray



Light Stone

**All swatches acquired from local manufacture, and serve as a color guide only. Any substitutions must be approved by the ARC.



5.1 STANDING SEAM METAL PALETTE



Bamboo Shoot



Dark Clove



Foothills



Herbal Wash



Leather Bound



Zeus



Ligonier Tan



March Wind



Messenger Bag



Mossy Gold



Pier



Thunder Gray



Portabello



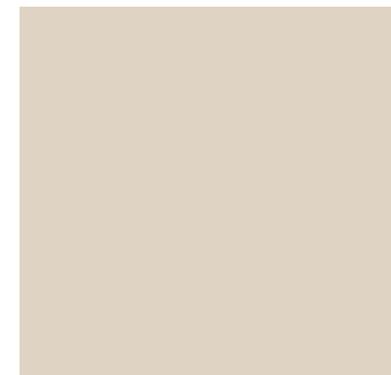
Prairie grass



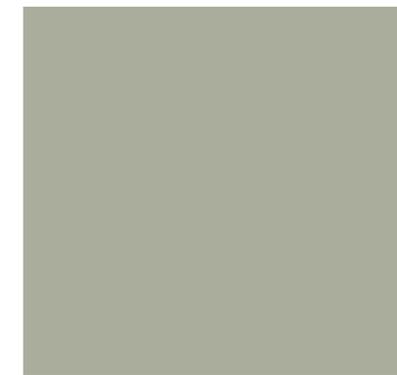
Rock Bottom



Stonebriar



Natural Linen

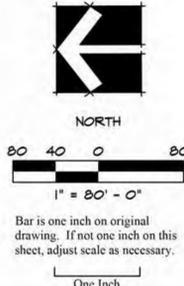


Willow Tree

**All swatches acquired from Sherwin Williams, and serve as a color guide only. Any substitutions must be approved by the ARC.



5.1 EXTERIOR PAINT PALETTE



NOTE:
ALL IMPROVEMENTS SHOWN ON
THIS PLAN ARE CONCEPTUAL IN
NATURE & SUBJECT TO CHANGE.

**BRIGHTON AT
MERCER CROSSING**
~CONCEPTUAL LAYOUT PLAN~
CITY OF FARMERS BRANCH
DALLAS COUNTY, TEXAS



LOCATION MAP
NOT TO SCALE



Studio 13 Design Group, PLLC.
386 W. Main Street
Lewisville, Texas 75057
469-635-1900

TBAE Firm #BR643



November 14, 2016

Drawing: S:\Projects\MOR002-Mercer Crossing\Renderings\MOR002 - Brighton Rendering.dwg Saved By: Colleen Save Time: 11/8/2016 2:49 PM



1 CROSS SECTION ALONG WITTINGTON PLACE SECTION

SCALE: 1/4" = 1'-0"



2 CROSS SECTION ALONG MERCER PARKWAY SECTION

SCALE: 1/4" = 1'-0"

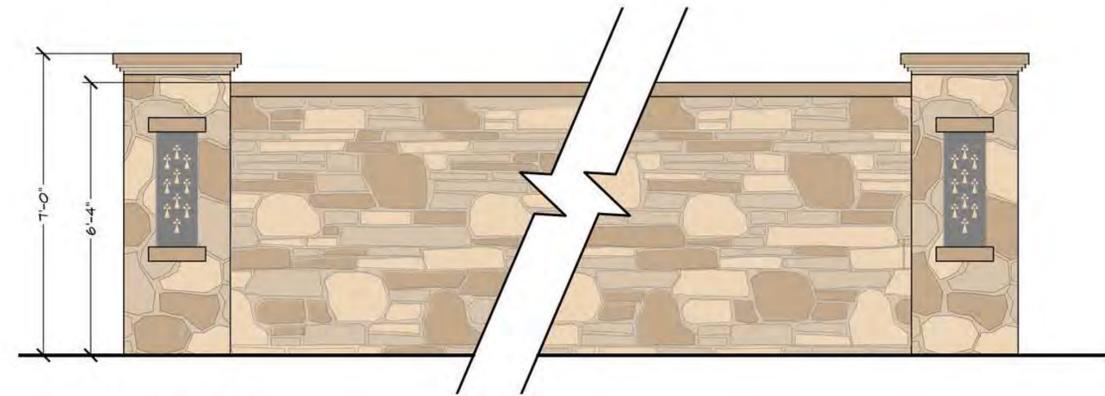
**BRIGHTON AT
MERCER CROSSING**
~CONCEPTUAL LAYOUT PLAN~
CITY OF FARMERS BRANCH
DALLAS COUNTY, TEXAS

**STUDIO
DESIGN GROUP**
Studio 13 Design Group, PLLC.
386 W. Main Street
Lewisville, Texas 75057
469-635-1900
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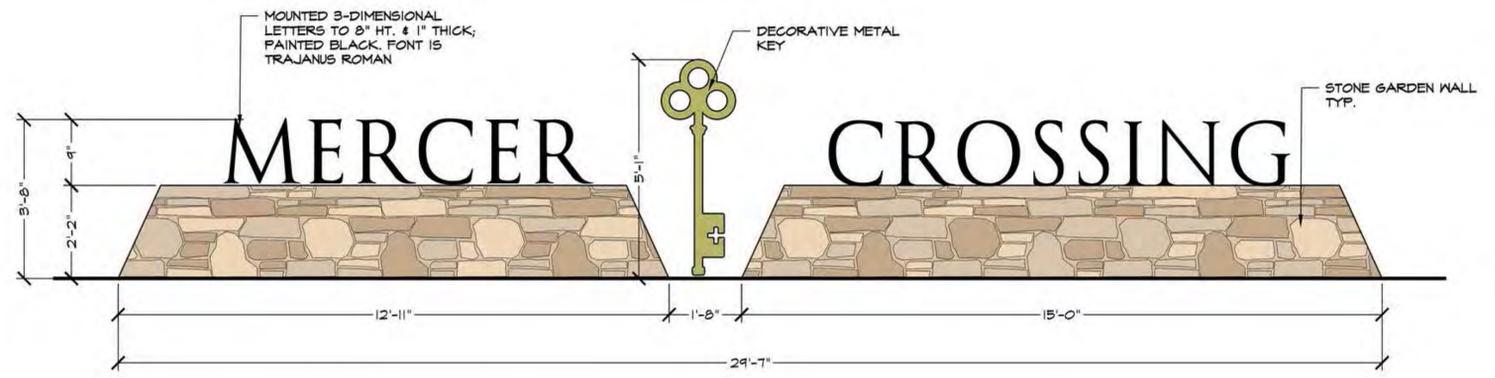
LOCATION MAP
NOT TO SCALE

NOTE:
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1 **STONE WALL ELEVATION**

SCALE: 1/2" = 1'-0"

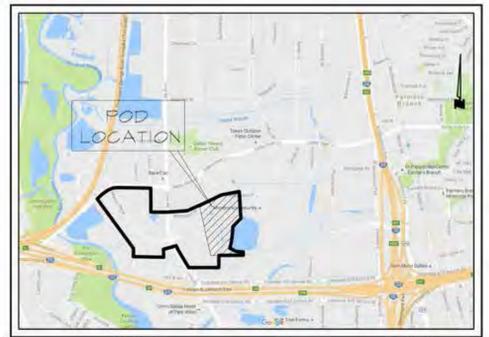


2 **OVERALL COMMUNITY SIGNAGE ELEVATION**

SCALE: 1/2" = 1'-0"

**BRIGHTON AT
MERCER CROSSING**
~CONCEPTUAL LAYOUT PLAN~
CITY OF FARMERS BRANCH
DALLAS COUNTY, TEXAS

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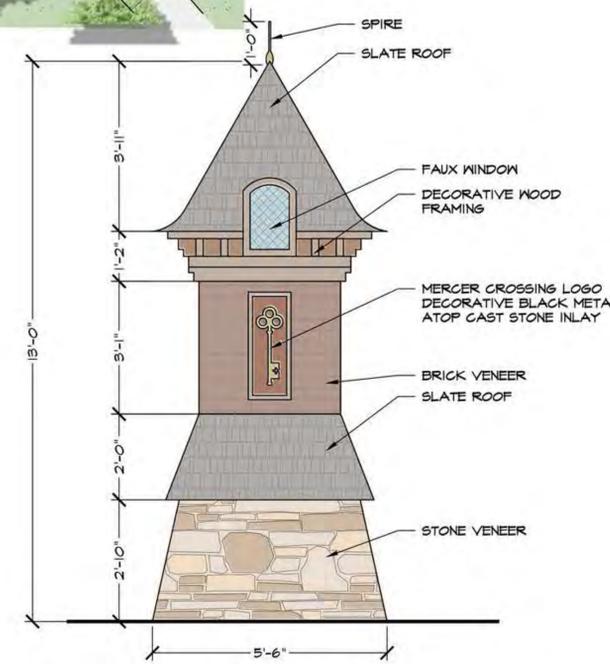
LOCATION MAP
NOT TO SCALE

**STUDIO 13
DESIGN GROUP**
Studio 13 Design Group, PLLC.
386 W. Main Street
Lewisville, Texas 75057
469-655-1900
TBAE Firm #BR643

LEONARD W. REYES
LANDSCAPE ARCHITECT
STATE OF TEXAS
1977
November 14, 2016

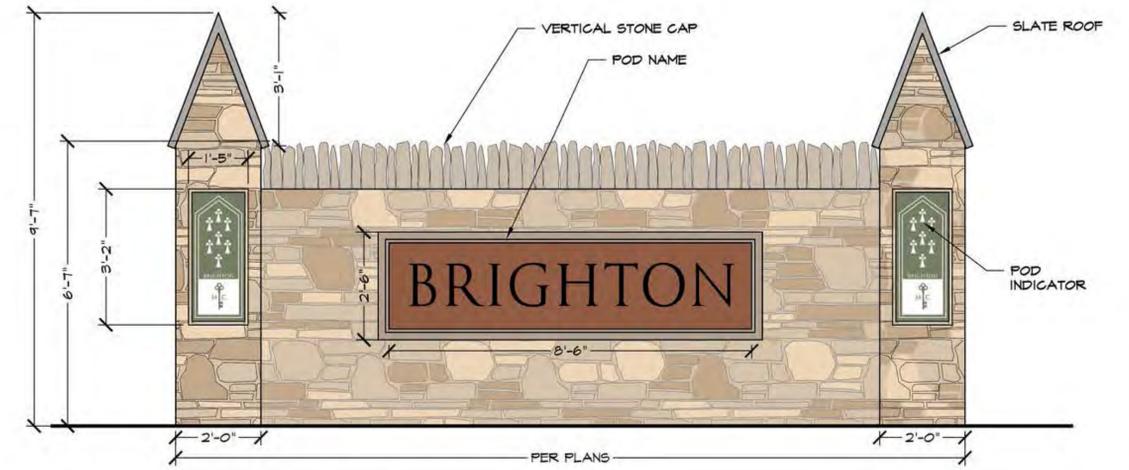


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One Inch



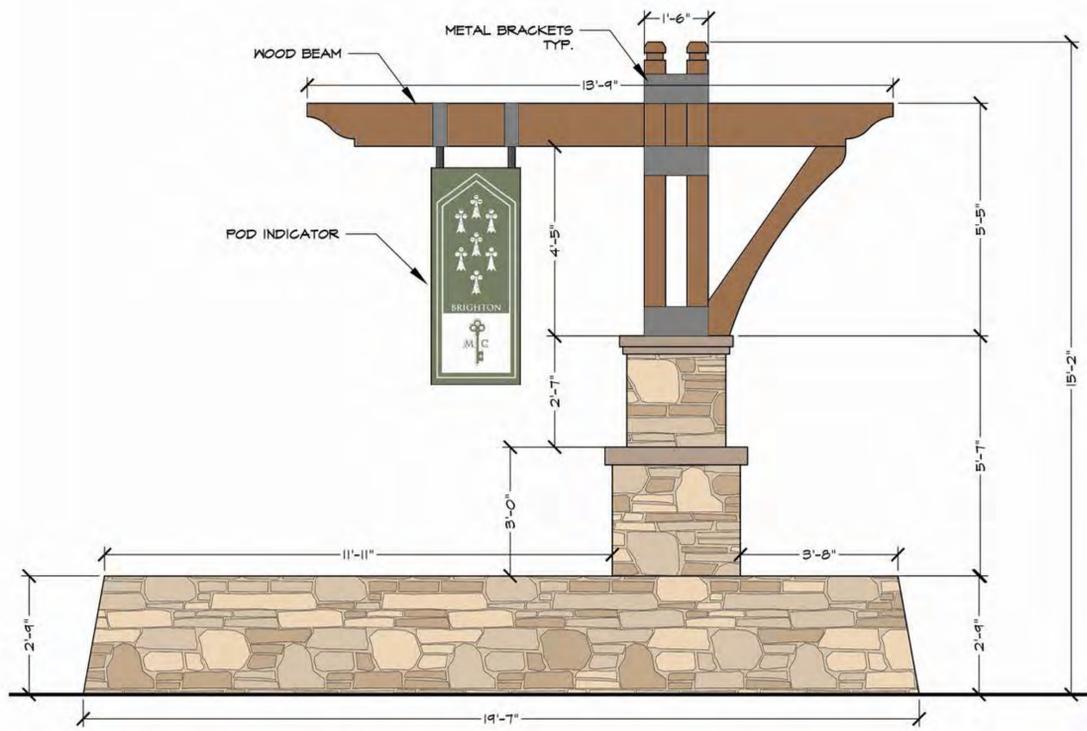
3 **ENTRY TOWER ELEVATION**

SCALE: 1/2" = 1'-0"



4 **PRIMARY ENTRY MONUMENT ELEVATION**

SCALE: 1/2" = 1'-0"



1 SECONDARY MONUMENT ELEVATION

SCALE: 1/2" = 1'-0"

BRIGHTON AT MERCER CROSSING
 ~CONCEPTUAL LAYOUT PLAN~
 CITY OF FARMERS BRANCH
 DALLAS COUNTY, TEXAS



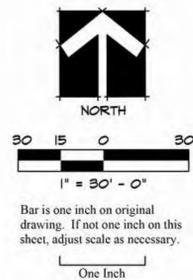
LOCATION MAP
 NOT TO SCALE

NOTE:
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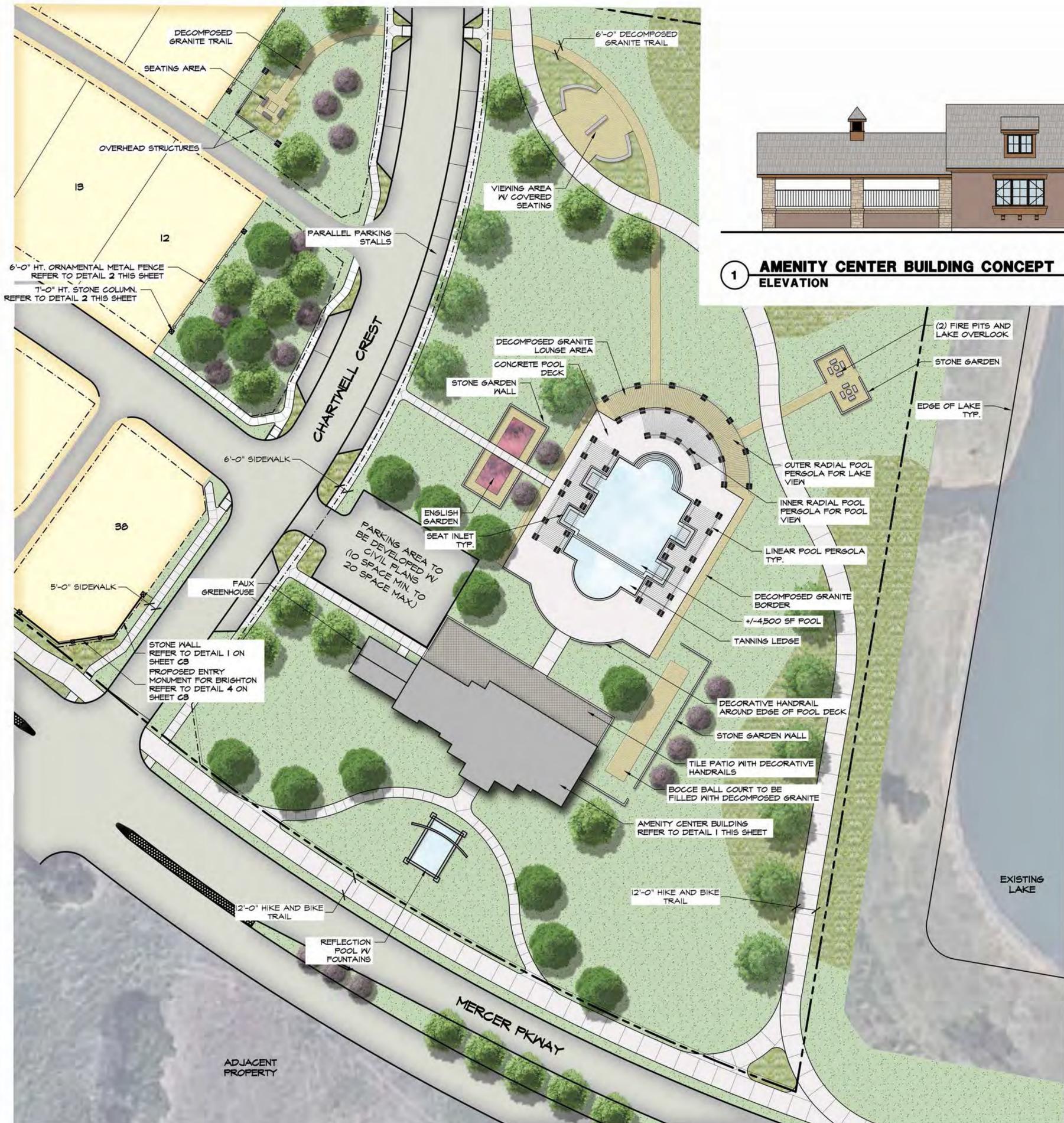
STUDIO 13 DESIGN GROUP
 Studio 13 Design Group, PLLC.
 386 W. Main Street
 Lewisville, Texas 75057
 469-635-1900

TBAE Firm #BR643

 Leonard W. Reeves
 November 14, 2016



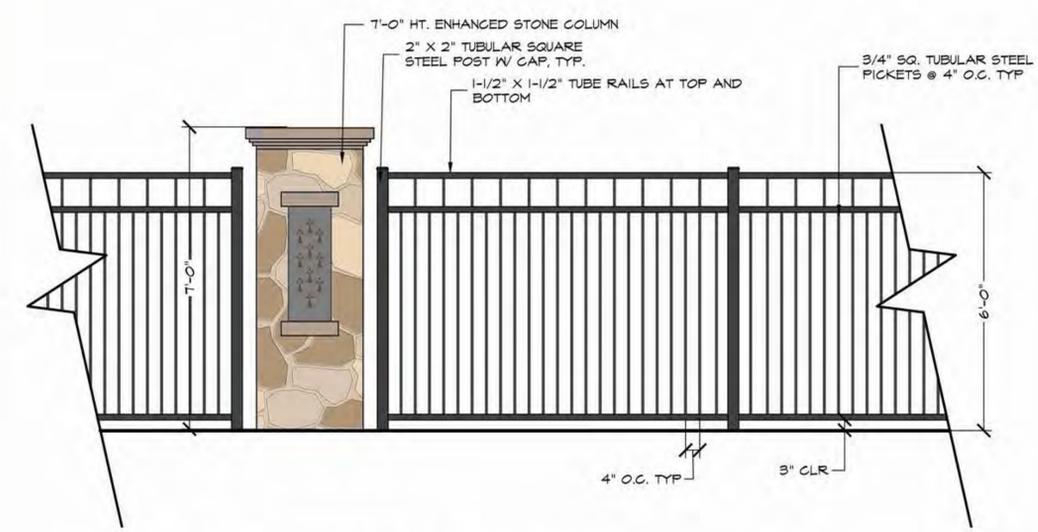
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1 AMENITY CENTER BUILDING CONCEPT ELEVATION



SCALE: 1/8" = 1'-0"



2 6'-0" HT. ORNAMENTAL METAL FENCE (TYPICAL) ELEVATION

SCALE: 1/2" = 1'-0"

**BRIGHTON AT
MERCER CROSSING
~CONCEPTUAL LAYOUT PLAN~**
CITY OF FARMERS BRANCH
DALLAS COUNTY, TEXAS

NOTE:
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LOCATION MAP
NOT TO SCALE

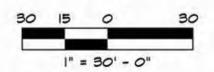


Studio 13 Design Group, P.L.L.C.
386 W. Main Street
Lewisville, Texas 75057
469-635-1900

TBAE Firm #BR643



November 14, 2016

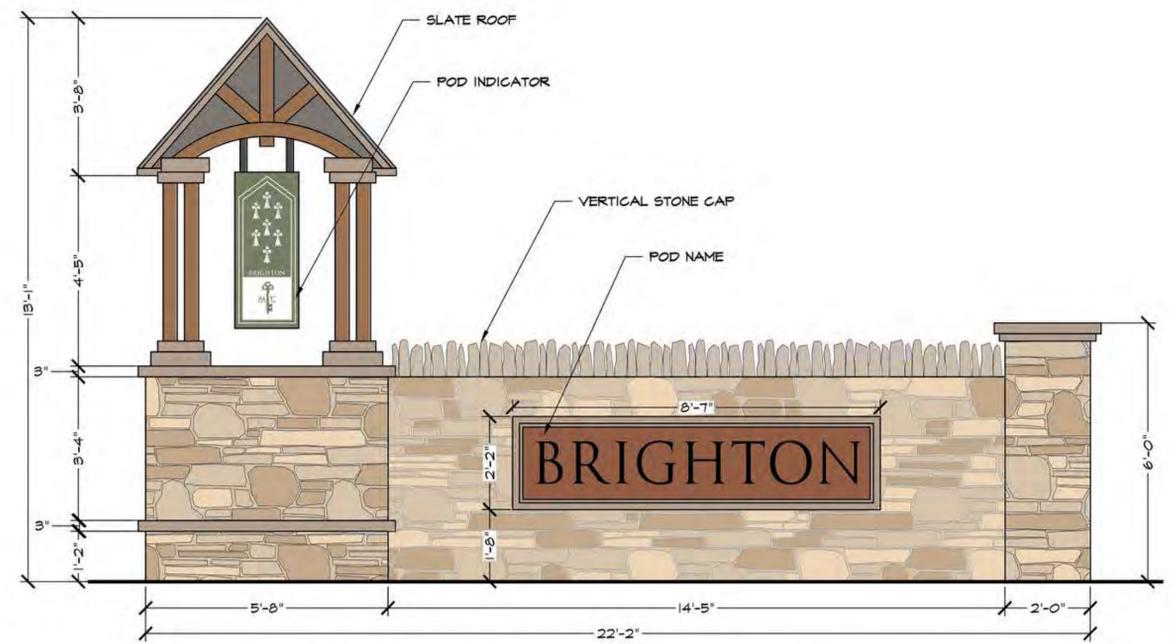
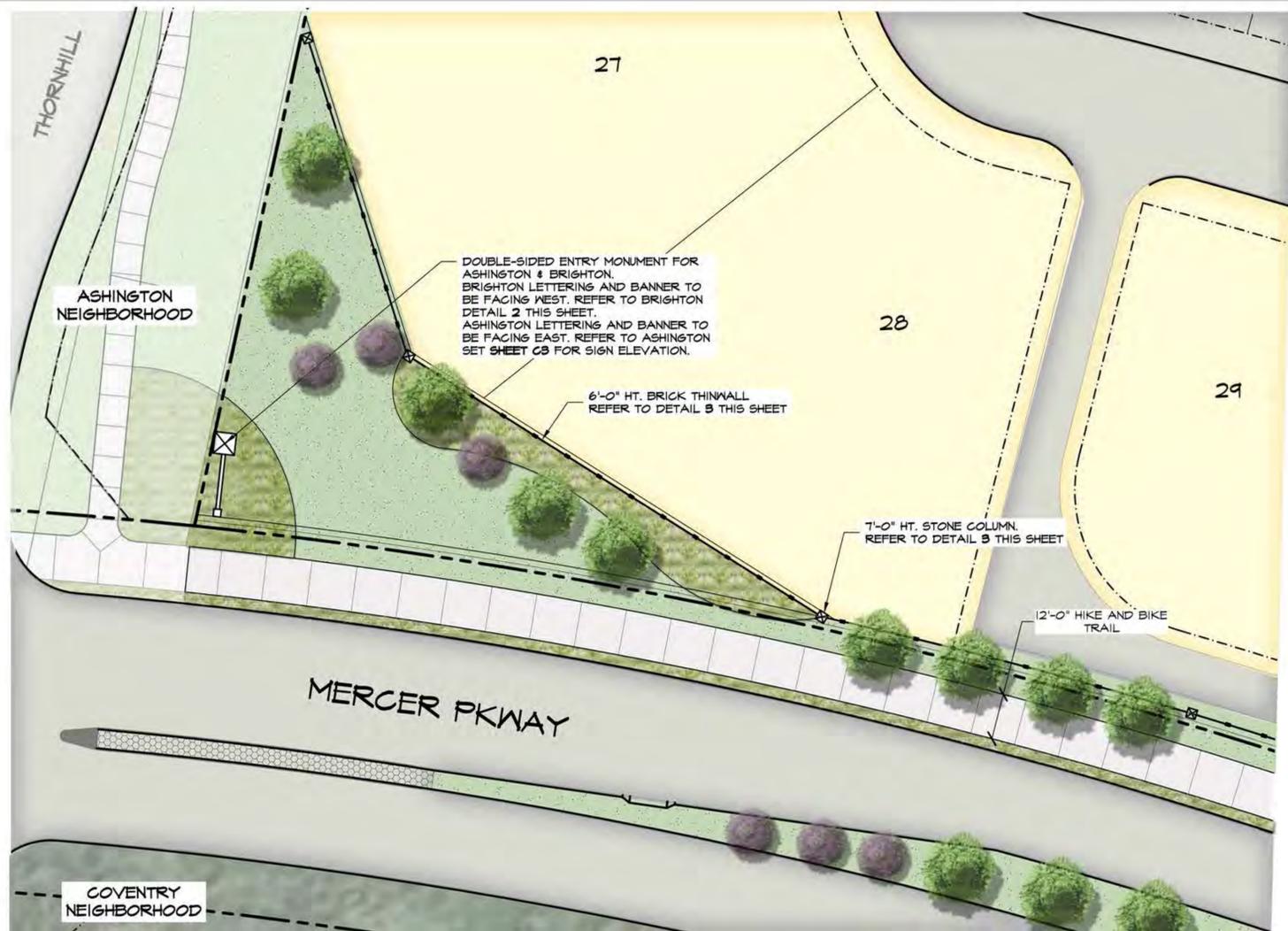


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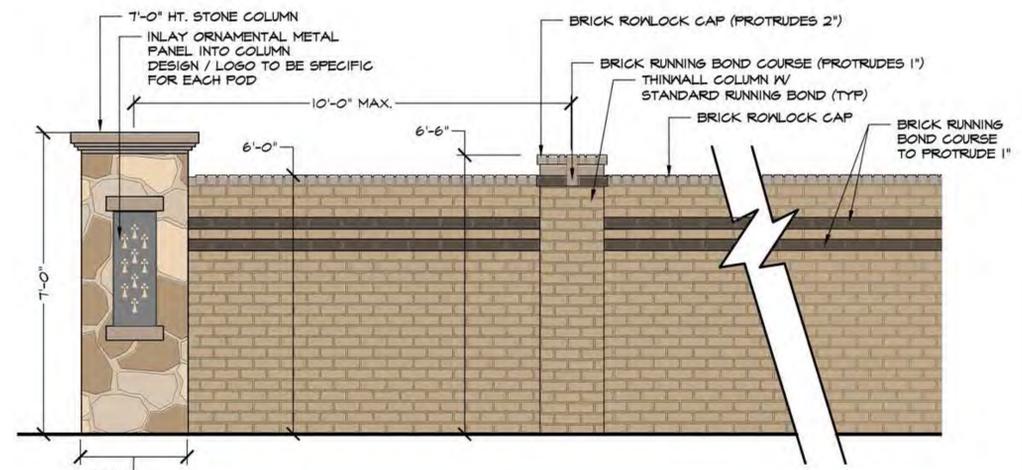
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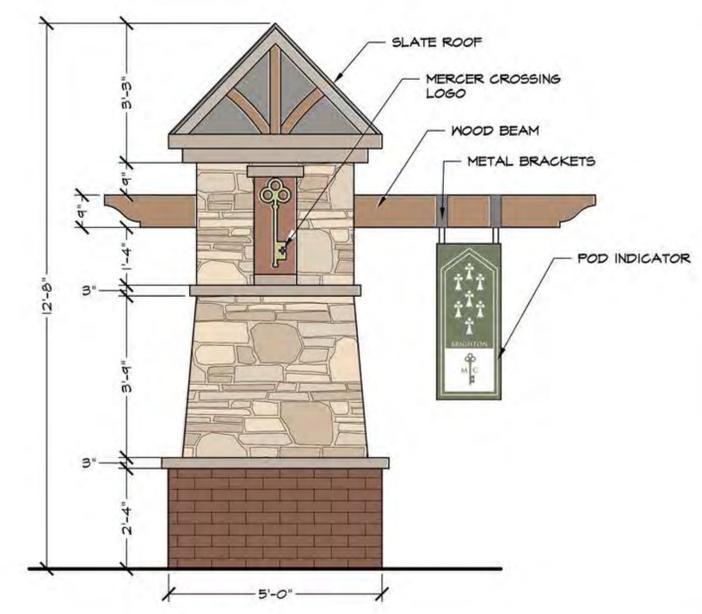
2 DOUBLE-SIDED MONUMENT (BRIGHTON & ASHINGTON) ELEVATION

SCALE: 1/2" = 1'-0"



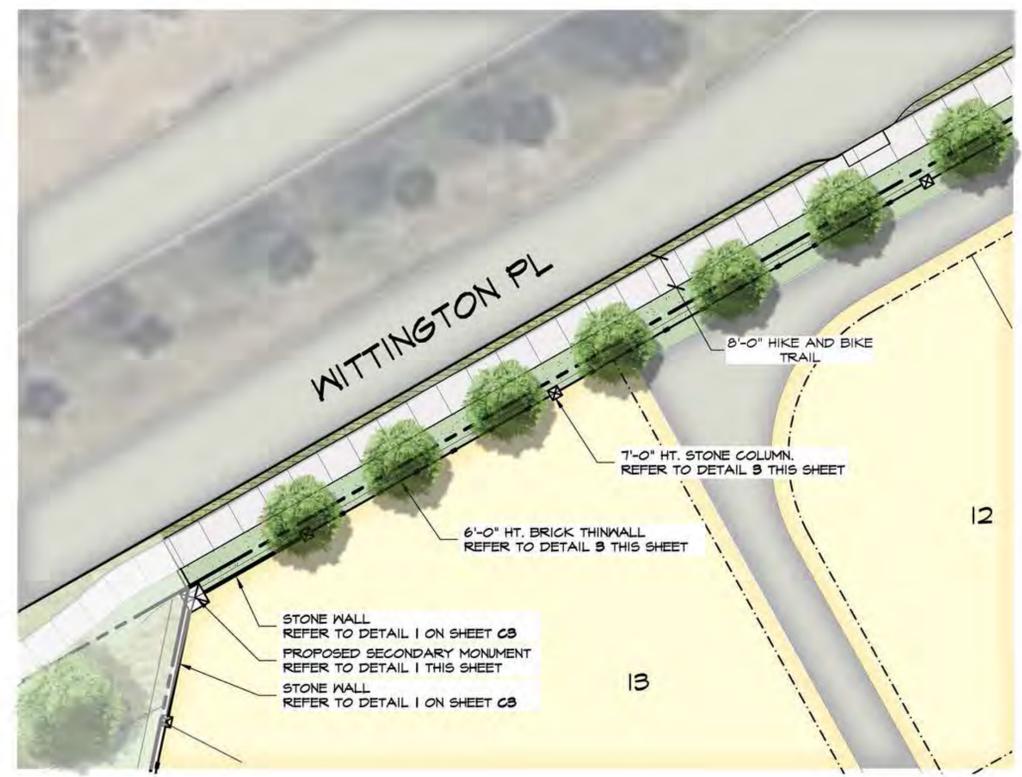
3 6'-0" HT. BRICK THINWALL W/ COLUMN ELEVATION

SCALE: 1/2" = 1'-0"



1 SECONDARY MONUMENT ELEVATION

SCALE: 1/2" = 1'-0"



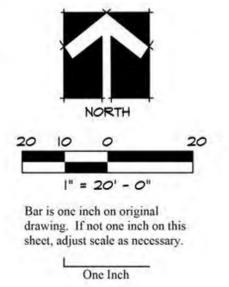
BRIGHTON AT MERCER CROSSING
 ~CONCEPTUAL LAYOUT PLAN~
 CITY OF FARMERS BRANCH
 DALLAS COUNTY, TEXAS



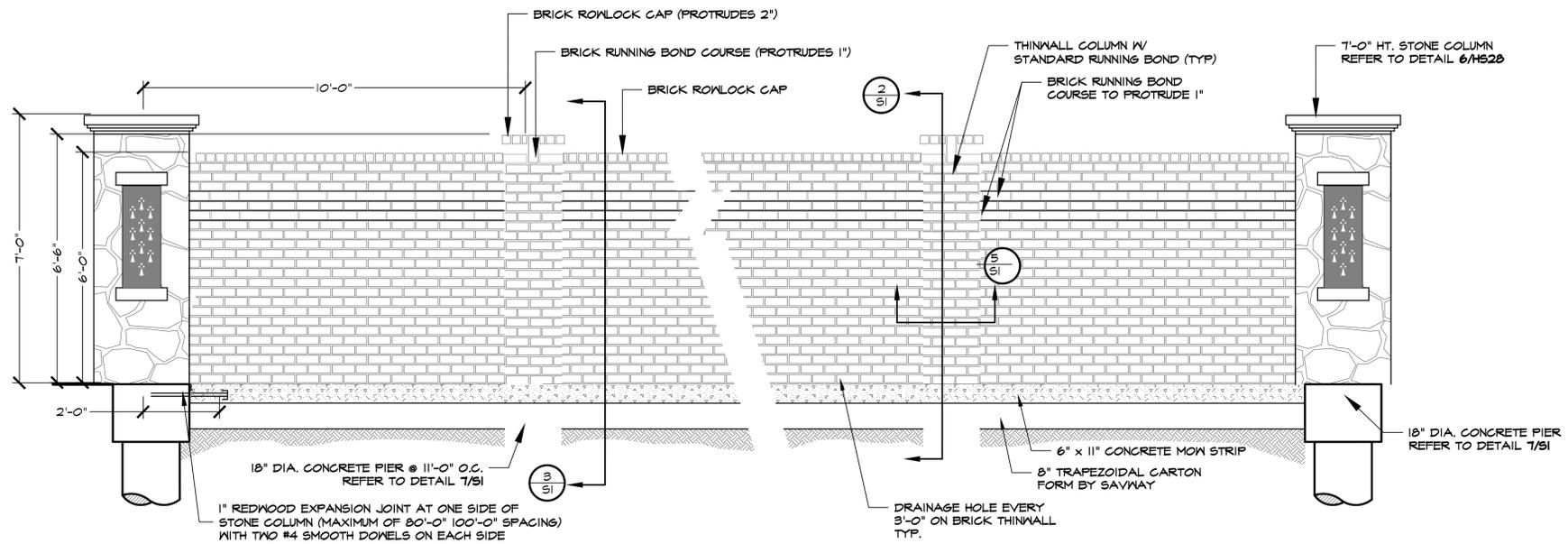
LOCATION MAP
NOT TO SCALE

NOTE:
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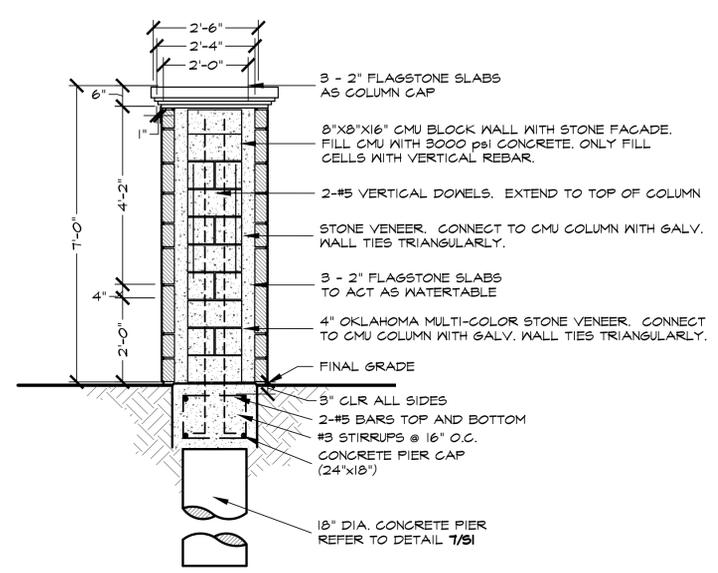
STUDIO 13 DESIGN GROUP
 Studio 13 Design Group, PLLC.
 336 W. Main Street
 Lewisville, Texas 75057
 469-635-1900
 TBAE Firm #BR643



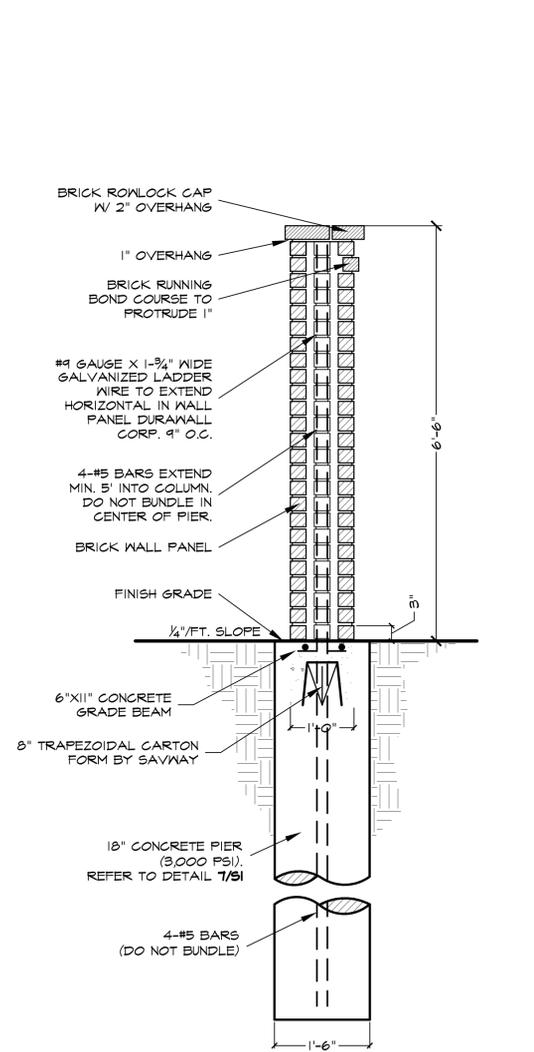
Drawing: S:\Projects\MOR002-Mercer Crossing\DWG\Brighton\MOR002HS-Brighton.dwg Saved By: Colleen Save Time: 10/13/2016 3:53 PM Plotted by: ##### Plot Date: 10/13/2016 3:55 PM



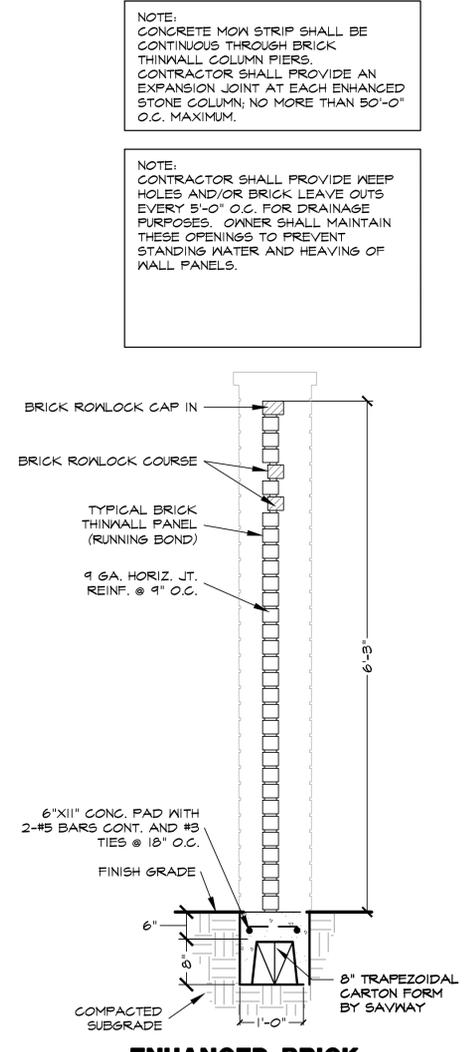
1 6'-0" HT. BRICK THINWALL
S1 ELEVATION
SCALE: 1/2" = 1'-0"



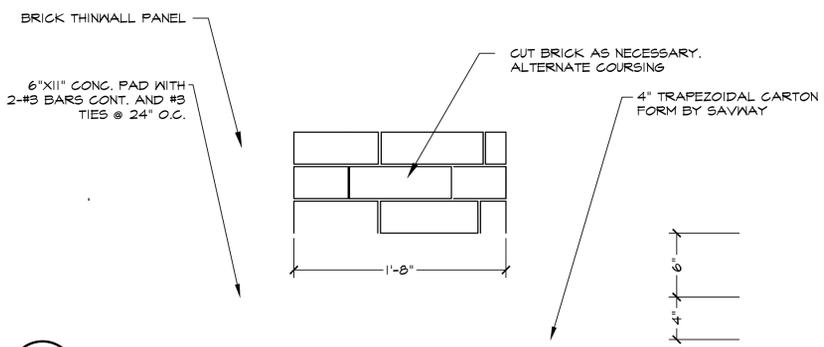
6 7'-0" STONE COLUMN
S1 SECTION
SCALE: 1/2" = 1'-0"



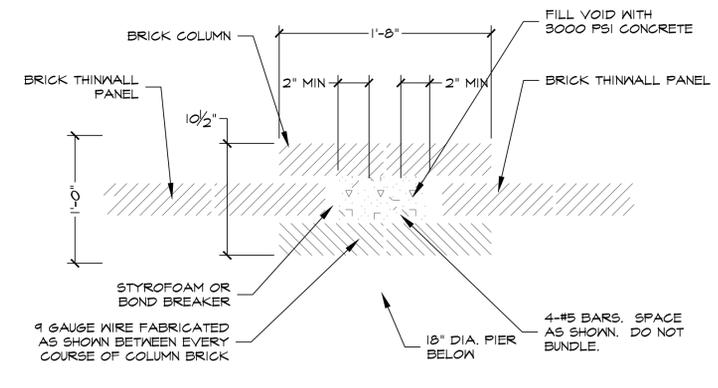
2 THINWALL COLUMN
S1 SECTION
SCALE: 3/4" = 1'-0"



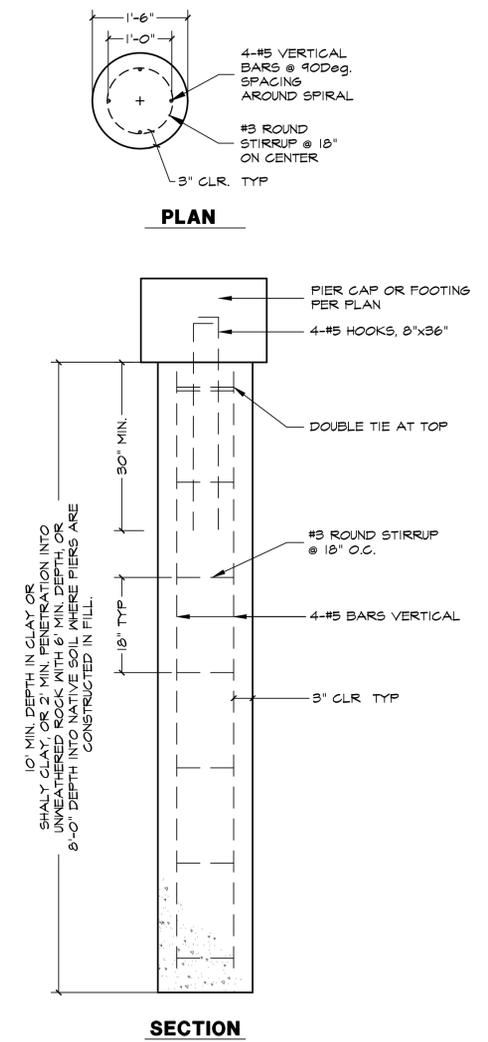
3 ENHANCED BRICK THINWALL PANEL
S1 SECTION
SCALE: 3/4" = 1'-0"



4 THINWALL COLUMN
S1 ELEVATION
SCALE: 1-1/2" = 1'-0"



5 THINWALL COLUMN
S1 PLAN/SECTION
SCALE: 1-1/2" = 1'-0"



**7 PIER (18\"/>S1 PLAN/SECTION
SCALE: 3/4" = 1'-0"**

NOTE:
CONCRETE MOW STRIP SHALL BE CONTINUOUS THROUGH BRICK THINWALL COLUMN PIERS. CONTRACTOR SHALL PROVIDE AN EXPANSION JOINT AT EACH ENHANCED STONE COLUMN; NO MORE THAN 50'-0" O.C. MAXIMUM.

NOTE:
CONTRACTOR SHALL PROVIDE WEEP HOLES AND/OR BRICK LEAVE OUTS EVERY 5'-0" O.C. FOR DRAINAGE PURPOSES. OWNER SHALL MAINTAIN THESE OPENINGS TO PREVENT STANDING WATER AND HEAVING OF WALL PANELS.

Bar is one inch on original drawing. If not one inch on this sheet, adjust scale as necessary.
One Inch

LANDSCAPE AND SCREENING
Hardscape Details
Brighton at Mercer Crossing
City of Farmers Branch, Dallas County, Texas

PLAN REVIEW REVISIONS	BY	DATE



The brick detailing and standing seam accents make this a great rear entry example.



The above image sets an ideal standard for the Texas Tudor Design theme. The chimney detail, brick patterns, and color palette are all strong architectural elements.



The image above is an excellent variation of the top left elevation. By varying colors of materials the same look can easily be accomplished.



In this image the half timbering and multi-paned windows are the highlighted Texas Tudor elements to replicate.



3.9 CONCEPTUAL ELEVATIONS



There are very few front entry lots in Mercer Crossing, but this is a prime example to be used. The brick details, half timbering inlay reinforce the Texas Tudor style.



This is another great front entry elevation. The intricate detail on the chimney and the use of native materials are the very definition of Texas Tudor.



The multiple Texas Tudor elements include: eyebrow windows, cedar shutters, herringbone brick details, and native building materials.



The above townhome elevation includes Standing seam accents, multi-paned windows, half timbering, and an acceptable color palette.



3.9 CONCEPTUAL ELEVATIONS



City of Farmers Branch

Farmers Branch City Hall
13000 Wm Dodson Pkwy
Farmers Branch, Texas
75234

Staff Report

File Number: R2016-114

Agenda Date: 11/14/2016

Version: 1

Status: Regular Agenda

In Control: Planning and Zoning Commission

File Type: Resolution

Consider a request from CADG Mercer Crossing Holdings LLC for approval of a Detailed Site Plan for a 16.1 acre tract located east of Luna Road and south of Wittington Place and take appropriate action.

BACKGROUND:

Earlier this year the City approved Planned Development No. 99. This zoning district established a new master planned community containing 267 acres extending from Mercer Crossing Lake to the levee west of Mercer Parkway. Within this new community the developer, Centurion American, proposes to create six (6) new single family residential neighborhoods. This proposed Detailed Site Plan is the second of these new residential neighborhoods. This neighborhood, to be known as "Ashington", contains 16.1 acres and proposes to create 60 single family lots.

RECOMMENDATION:

Staff finds that this proposed Detailed Site Plan is in compliance with the Conceptual Site Plan and development standards included and outlined in Planned Development No. 99 (PD-99) as described in Ordinance No. 3359.

Staff recommends approval of this Detailed Site Plan.

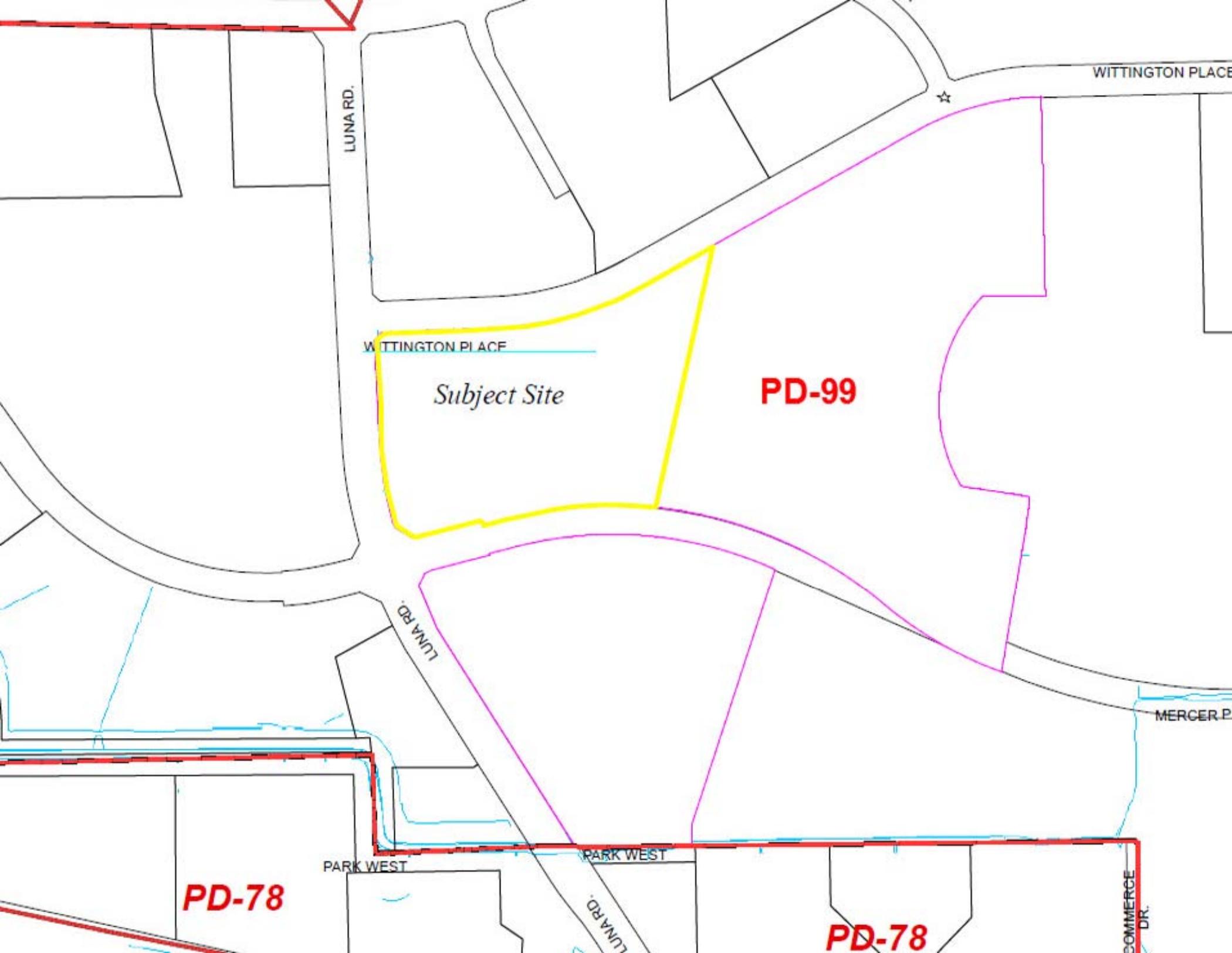
ACTIONS:

1. Motion to recommend approval of Detailed Site Plan as outlined and presented at this meeting.
2. Motion to recommend denial of the Detailed Site Plan as outlined and presented at this meeting.
3. Motion to recommend approval of the Detailed Site Plan with the following modifications.....
4. Motion to continue discussion of this case to the next regular meeting.

ATTACHMENTS:

1. Location Map
2. Aerial Map
3. Staff Report
4. PD-99 Conceptual Site Plan
5. Overall Mercer Crossing Plan

6. Neighborhood Map for Mercer Crossing
7. Site Plan
8. Landscape Plan
9. Wall Details
10. House Plans Examples



LUNA RD.

WITTINGTON PLACE

WITTINGTON PLACE

Subject Site

PD-99

LUNA RD.

MERCER P.

PARK WEST

PARK WEST

PD-78

PD-78

LUNA RD.

COMMERCE DR.



-  Parcel Property Boundaries
-  City Limit

16-SP-11 - Aerial Map Ashington at Mercer Crossing



Various official and unofficial sources were used to gather this information. Every effort was made to ensure the accuracy of this data, however, no guarantee is given or implied as to the accuracy of said data. For pictorial reference only.

0 462.5 925

 Feet

NORTH
Date: 10/14/2016

STAFF REPORT

Case Number: 16-SP-11
Request: Detailed Site Plan for a single family detached neighborhood in PD-99
Address: East of Luna Road and south of Wittington Place
Lot Size: Approximate 16.1 Acres
Petitioner: Centurion American (CADG Mercer Crossing Holdings LLC)

Summary

Site design: *Single family detached residential community*

Units: *60 buildable lots approximately 50' wide x 105' deep*

Existing Conditions

In March of this year, the City approved Planned Development No. 99 (PD-99). This PD established a new master planned community containing residential, retail and entertainment land uses. This new master planned community contains approximately 267 acres and extends westward from Mercer Crossing Lake to the Valwood Improvement levee system west of Mercer Parkway. A Conceptual Site Plan was included within this new PD. This Conceptual Site Plan outlined the general land use areas and street network to be used for new community. Within this Conceptual Plan six single family neighborhoods were established. This Detailed Site Plan request represents one of those six single family neighborhoods. (See Neighborhood Map).

The site is located approximately east of Luna Road and immediately south of Wittington Place. (See Aerial Map)

For this 16.1 acres property, the applicant, CADG Mercer Crossing Holdings LLC (a subsidiary of Centurion American) has proposed to develop a single family detached residential community containing approximately 60 buildable lots. This development is proposed to be constructed in one phase.

The site is bordered to the west by Luna Road and a proposed single family neighborhood known as "Verwood". To the south of this site is proposed Mercer Parkway and a proposed single family neighborhood known as "Coventry". To the east is another proposed single family neighborhood known as "Brighton". To the north of the site is Wittington Place and a future retail center. (See Location Map).

Site Design

This Detailed Site Plan is for a proposed single family neighborhood (to be called "Ashington") being developed by the applicant, Centurion American (CADG). Ashington will contain 16.1

total acres. It will be composed of 60 single family residential lots. All of these lots are rear loaded (driveways and garages facing the alleyway). These rear loaded lots will be a minimum of 50' in width and 105' in depth. All lots within the Ashington neighborhood meet or exceed 5,250 square feet in total area.

Mercer Crossing Design Guidelines (Pattern Book)

As part of the overall design of the Mercer Crossing mixed use development, CADG has developed a comprehensive set of Design Guidelines outlining the basic theme and character of the new community. This guideline document, or Pattern Book, includes design advice regarding such items as building architectural style (commercial and residential), street design, open space and parks design, trails, streetscape improvements, sign typology and standards, and wall materials and treatments. (see Mercer Crossing Pattern Book)

The proposed architectural theme of the Mercer Crossing community is “Texas Tutor”. This unique style is combination of key English Tudor building elements (such as field stone, large wooden timbers, and steep multi-gabled roof lines), with contemporary Texas style elements like brick and stone exteriors, metal roofs, large porches and oversized windows. Texas Tudor weaves these two vernacular styles into unified look for both the residential and commercial subdistricts of Mercer Crossing. This comprehensive Pattern Book gives all potential builders and property owners guidance on how to integrate their specific project into the Mercer Crossing community. (see Mercer Crossing Pattern Book)

House Designs and Elevations

As mentioned earlier, all lots within the Brighton neighborhood are at least 5,250 square feet in area. After the required setbacks, the buildable area will exceed 3,000 square feet. A sole homebuilder, Megatel Homes, plans to buy all the lots within Ashington. Megatel Homes is aware of the architectural design requirements within Mercer Crossing. Although the use of common Texas Tudor materials and architectural elements is encouraged, the Mercer Crossing design guidelines demand a variety of house designs be assembled throughout the neighbor. For example, no house plan and exterior can be repeated within 4 lots of the original design.

Megatel is proposing to build homes containing at least 2,500 square feet of living space. Most of the proposed house plans are 2 story in height (35' maximum), and contain more than 3,000 square feet. The estimated cost of these homes will range from \$400,000 to \$600,000. (See House Plans Examples)

Parking

All lots within Ashington will require at least a 2 car garage. In addition, the design of the driveway will include at least 2 more on site surface parking spaces. In addition, on street parking will be allowed on most local streets within Mercer Crossing to help accommodate visitor parking needs.

Parks, Open Space and Trails

The main park within Ashington is located on easternmost portion of the neighborhood. This park consists of approximately 2.54 acres and includes open play area, dog park, and a traditional playground. This park extends along the east side of the Thornhill Road, from Wittington Place to Mercer Parkway. An 8' wide concrete trail runs the entire length of the park connecting to Wittington and Mercer Parkway. Along this new trail will be streetscape improvements such as benches, streetlights, exercise stations, drinking fountains, and dog stations. New canopy trees will also be installed to provide shade and color along the trail and throughout the park. A small open space area is also proposed on the northwest corner of Thornhill Road and Mercer Parkway. (See Landscape Plan).

A high priority has been placed on pedestrian connectivity throughout the proposed new Mercer Crossing community. A comprehensive trail network system has been integrated into each of the proposed residential neighborhoods, tying them all together. As mentioned earlier the Ashington neighborhood has an 8' trail proposed along the eastside of Thornhill Road and connecting to the Brighton neighborhood to the east. In addition, a 12' wide trail will extend along the northern side of Mercer Parkway. An 8' wide trail will extend along the southern side of Wittington Place. A 6' wide sidewalk/trail is proposed along eastern side of Luna Road. All local streets will have 5' wide sidewalks.

All landscaped open space and trails will be maintained by the Mercer Crossing Homeowners Association (HOA).

Signage

CADG has developed a comprehensive signage typology for all of the Mercer Crossing community, both commercial and residential. A variety of entry signs are proposed on all 4 corners of the neighborhood. (See Signage Details in Landscape Plan and Pattern Book)

Walls

To help buffer the residential neighborhoods throughout the Mercer Crossing community, a special network of masonry walls has been designed. These masonry walls will follow the old English Tudor style, and be composed of both stone and brick. Special accent portions of the wall located at points of high visibility will be composed of stone, while other wall sections will be composed of a brick "thinwall" design (no precast concrete panels). A concrete foundation (designed by a structural engineer) will be poured for the base of all masonry wall sections. All masonry walls will be at least 6' in height. These wall are proposed along major sections of Wittington Place, Luna Road, and future Mercer Parkway (See Wall Sections in Landscape Plan).

All maintenance of the masonry walls and neighborhood signage will be responsibility of the Mercer Crossing Homeowners Association (HOA).

Streets

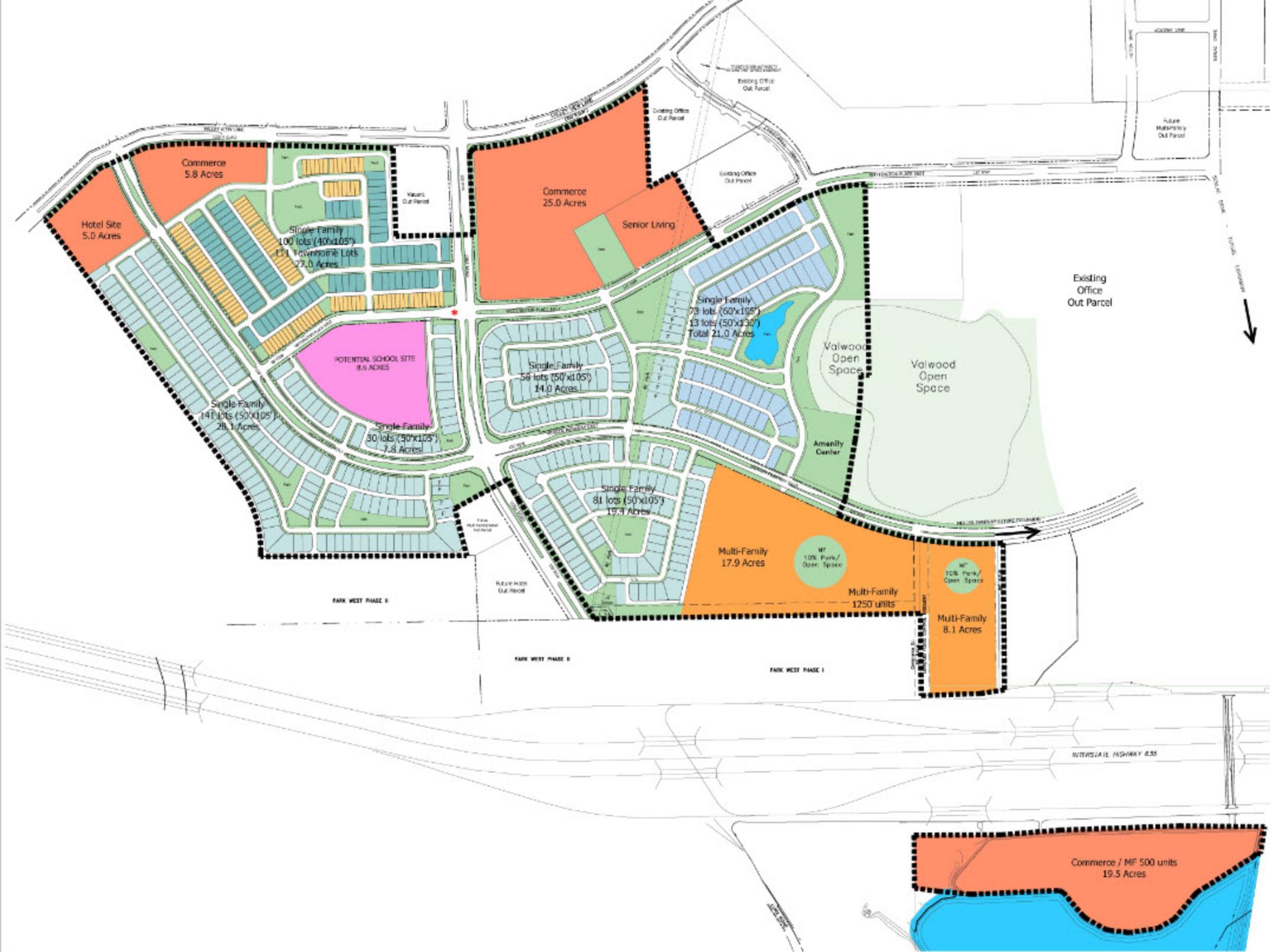
Thornhill Road will provide the only entry into the Ashington neighborhood. The northern entry will be from Wittington Place. The southern entry from Mercer Parkway. One additional loop street, named Ashington Trail, will serve the rest of the neighborhood. All local streets are designed to be 31' in width, and will allow on street parking in most areas. A series of three (3) alleys will also serve the neighborhood. These alley right of ways will be 20' in overall width and contain a 12' wide paved travelway.

All new street pavement (from curb to curb) will be maintained by the City upon acceptance of the street. All sidewalks and alleys will be maintained by the Mercer Crossing HOA. All street trees, landscaping, and street hardscape will be maintained by the Mercer Crossing HOA.

Conclusion

The Ashington neighborhood proposed with this Detailed Site Plan is consistent with Planned Development No. 99 (PD-99) and the associated Conceptual Site Plan as described in Ordinance No. 3359.

Staff recommends approval of this proposed site plan.



Legend

Single Family 60'x105' lots	73 lots
Single Family 50'x130' lots	13 lots
Single Family 50'x105' lots	310 lots
Single Family 40'x105' lots	100 lots
Townhomes 25'x90' lots	111 lots
Multi-Family (Includes O.S.)	26.0 Acres
Commerce/ Hotel/Sr. Living	55.3 Acres
Potential School Site	8.6 Acres
Park / Linear Park Amenity Center/ Valwood OS (inside)	26.4 Acres
Valwood Open Space (Outside)	31.2 Acres
Water Area	

Zoning Boundary **■■■■■■**

F Front-Load Lot

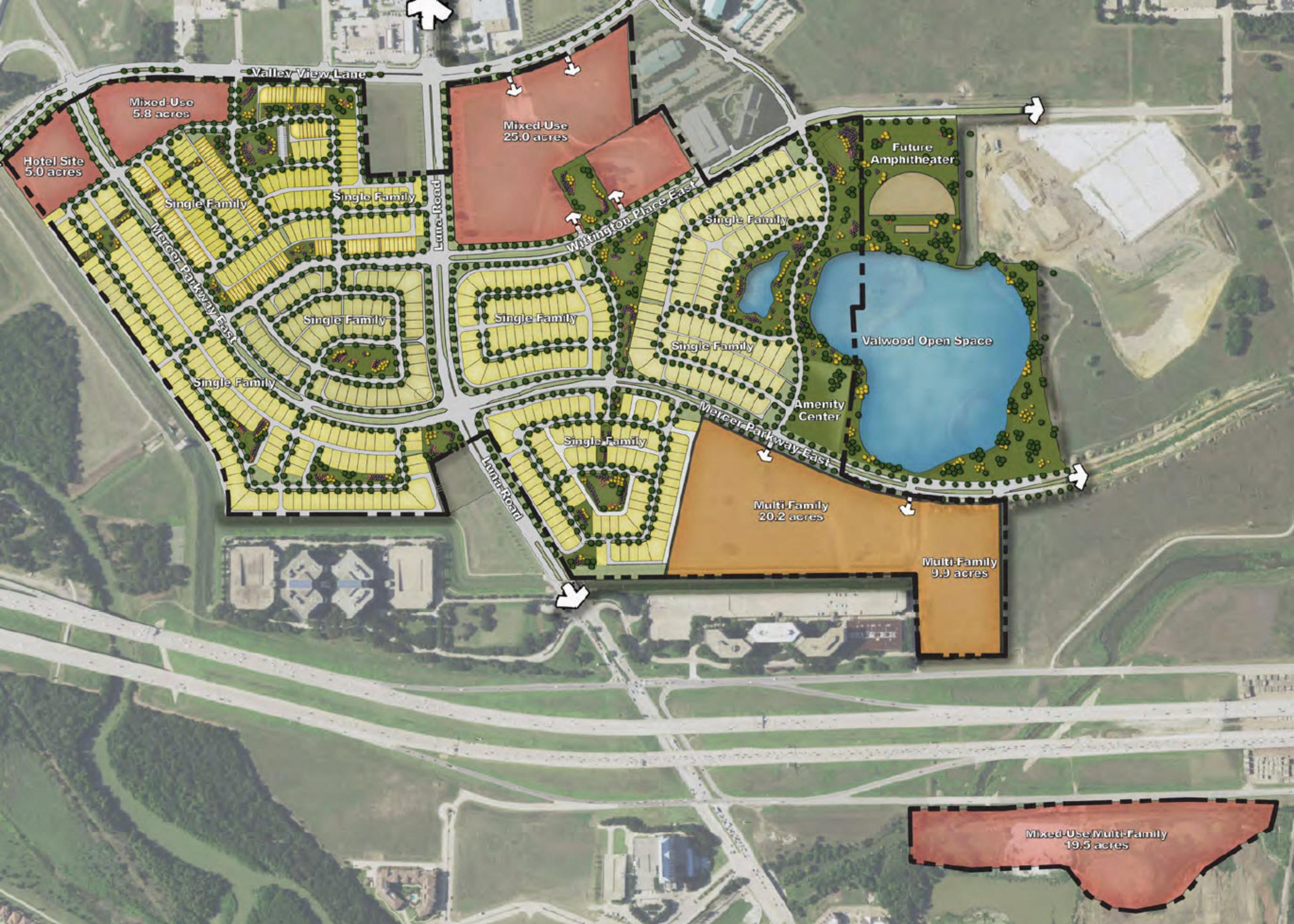
* Final alignment of Wittington and Luna intersection to be addressed during street design.

NOTICE:
Acreages, land uses, lot yields, road alignments, park/open spaces and trails are illustrative in nature and may change due to final surveys, field conditions and environmental findings, utilities, final site plans, and City of Farmers Branch and other governmental agency reviews and approvals. Ion Design Group, LLC is not responsible for loss of lots and land use changes due to these conditions. Owner retains right to modify land-use allocations and densities by ±10%.



Mercer Crossing Layout
CITY OF FARMERS BRANCH DALLAS COUNTY TEXAS

Ion Design Group
10700 Texas Hills Area
Suite 100
Dallas, Texas 75243
Date: 10/15/2019
214-220-2676



Hotel Site
5.0 acres

Mixed-Use
5.8 acres

Mixed-Use
25.0 acres

Single Family

Valwood Open Space

Future Amphitheater

Amenity Center

Multi Family
20.2 acres

Multi-Family
9.9 acres

Mixed-Use Multi-Family
19.5 acres

Valley View Lane

Luna Road

Wittington Place East

Mercer Parkway East

Luna Road

Mercer Parkway East



WINDERMERE

VERWOOD

AMESBURY

ASHINGTON

BRIGHTON

COVENTRY

Detailed Site Plan for WATER, SANITARY SEWER, PAVING & DRAINAGE IMPROVEMENTS To Serve MERCER CROSSING ASHINGTON ADDITION CITY OF FARMERS BRANCH DALLAS COUNTY, TEXAS

Metes & Bounds

POD B - 16.803 ACRES

Being a tract of land out of the Francis Miller Survey, Abstract No. 926 and situated in the City of Farmers Branch, Dallas County, Texas, and surveyed by Miller Surveying, Inc. of Hurst, Texas in November 2015, said tract being a portion of Block D, Westside Addition Section 1, an addition to the City of Farmers Branch according to the plat recorded as Document No. 200600172708 of the Real Property Records of Dallas County, Texas, Texas and being more particularly described by metes and bounds as follows:

Beginning at a 1/2 inch "MILLER 5665" capped steel rod for the most westerly northwest corner of said Block D, said rod being the southeasterly end of a corner clip for the easterly right-of-way line of Luna Road and the southerly right-of-way line of Wittington Place;

Thence North 42 degrees 27 minutes 18 seconds East with said corner clip a distance of 35.25 feet to a 1/2 inch capped steel rod found for the northeasterly corner thereof;

Thence North 87 degrees 37 minutes 23 seconds East with the northerly boundary line of said Block D and with said southerly right-of-way line a distance of 399.76 feet to a 1/2 inch "MILLER 5665" capped steel rod set for the beginning of a curve to the left with a radius of 1096.32 feet and whose chord bears North 74 degrees 07 minutes 23 seconds East at 511.86 feet;

Thence easterly continuing with said northerly boundary line and said southerly right-of-way line and with said curve along an arc length of 516.63 feet to a 1/2 inch "MILLER 5665" capped steel rod set for the end of said curve;

Thence South 11 degrees 52 minutes 52 seconds West a distance of 149.74 feet to a 1/2 inch "MILLER 5665" capped steel rod set;

Thence South 12 degrees 25 minutes 13 seconds East a distance of 775.55 feet to a 1/2 inch "MILLER 5665" capped steel rod set in the southerly boundary line of said Block D, said rod being in the northerly right-of-way line of Mercer Parkway and also being in a curve to the left with a radius of 1450.00 feet and whose chord bears South 85 degrees 41 minutes 39 seconds West at 512.90 feet;

Thence westerly with said northerly right-of-way line and with said curve along an arc length of 515.62 feet to a 1/2 inch capped steel rod found for the end of said curve;

Thence South 75 degrees 30 minutes 25 seconds West continuing with said northerly right-of-way line a distance of 92.74 feet to a 1/2 inch capped steel rod found;

Thence North 14 degrees 29 minutes 35 seconds West continuing with said northerly right-of-way line a distance of 16.50 feet to a 1/2 inch capped steel rod found;

Thence South 75 degrees 30 minutes 25 seconds West continuing with said northerly right-of-way line a distance of 223.49 feet to a 1/2 inch capped steel rod found;

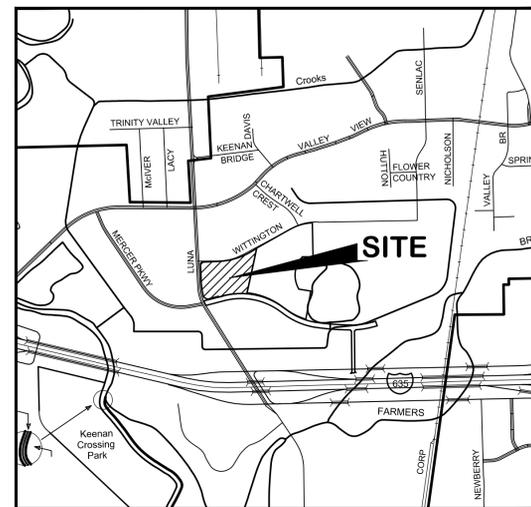
Thence South 84 degrees 00 minutes 42 seconds West continuing with said northerly right-of-way line a distance of 16.63 feet to a 1/2 inch capped steel rod found for the southerly end of a corner clip for said northerly right-of-way line and the easterly right-of-way line of Luna Road;

Thence North 59 degrees 44 minutes 56 seconds West with said corner clip a distance of 72.43 feet to a 1/2 inch capped steel rod found for the northerly end thereof;

Thence North 28 degrees 19 minutes 37 seconds West with said easterly right-of-way line a distance of 17.61 feet to a 1/2 inch capped steel rod found for the beginning of a curve to the right with a radius of 1460.00 feet and whose chord bears North 08 degrees 42 minutes 32 seconds West at 310.09 feet;

Thence northerly with said easterly right-of-way line and with said curve along an arc length of 310.68 feet to a 1/2 inch capped steel rod found for the end of said curve;

Thence North 02 degrees 42 minutes 47 seconds West continuing with said easterly right-of-way line a distance of 323.61 feet to the point of beginning and containing 16.803 acres of land, more or less.



VICINITY MAP
(NOT TO SCALE)

11.03.2016

Sheet List Table

Sheet Title
C0.01 COVER
C1.01 SITE PLAN
C4.01 EXISTING DRAINAGE AREA MAP
C4.02 PROPOSED DRAINAGE AREA MAP
C4.03 STORM SEWER PLAN
C5.01 UTILITY PLAN
L9.01 LANDSCAPE PLAN

ASHINGTON - 16.803 ACRES
60 LOTS - 50'x105' (TYPICAL)
OPEN SPACE - 3.53 ACRES IN TWO HOA LOTS

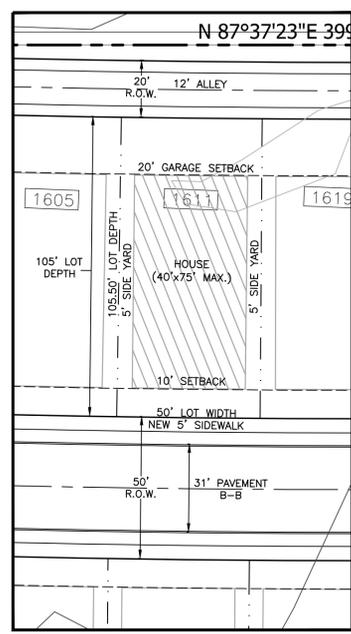
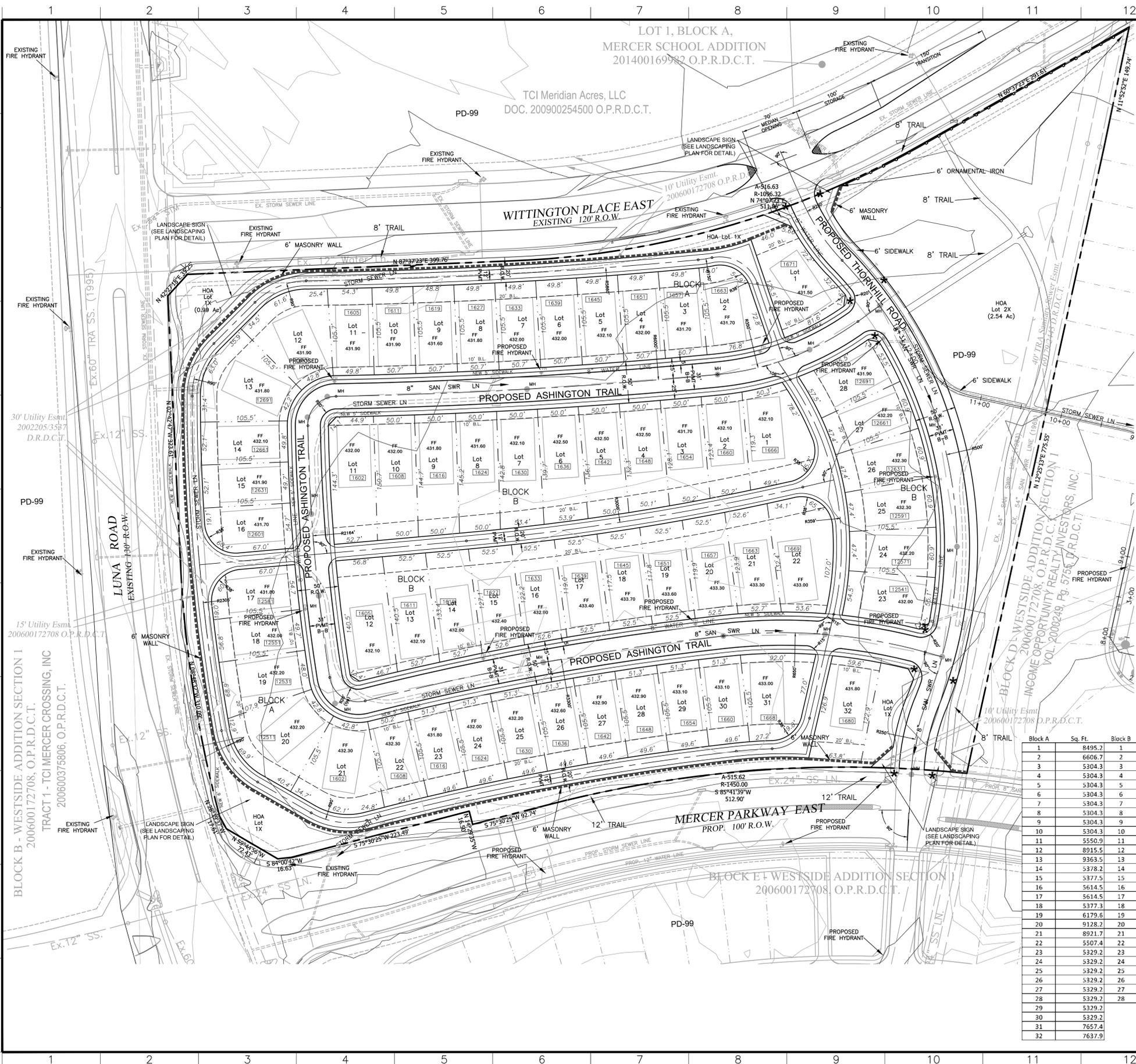
PROPERTY OWNER
CADG MERCER HOLDINGS, LLC
1800 Valley View Lane
Suite 400
Farmers Branch, TX 75234
214.287.9009
Contact: Michael Beaty

ENGINEER
ION DESIGN GROUP, LLC F-6701
7075 Twin Hills Ave
Suite 350
Dallas, TX 75231
214.370.3470 Ph
Contact: Bryan Klein

SURVEYOR
MILLER SURVEYING, INC.
430 Mid Cities Blvd.
Hurst, TX 76054
817.577.1052 Ph
817.577.0972 Fx
Contact: Jason Rawlings



6002.00 MERCER CROSSING ASHINGTON ADDITION



PROPOSED 50' REAR-LOADED LOT STANDARD

SITE DATA TABLE - POD B

General Information		
Zoning	PD-99	
Land Use	Residential	
Site Area (acres/SF)	16.08	
Number of building lots	60	
Number of HOA lots/Acreage	2	
Existing Land Use	Vacant	
Proposed Land Use	Residential	
Lot Standards		
Lot Type	SFD-50	
Minimum Lot Width	50'	
Minimum Lot Depth	105'	
Front Yard - rear loaded	10'	
Rear Yard - rear loaded	5'	
Rear Yard - garage setback	20'	
Side yard - rear loaded	5'	
Maximum Stories	2.5	
Maximum height - ft.	35'	
Maximum Lot coverage	65%	
Minimum Dwelling size	2200 SF	
Onsite Parking Required (garage spaces)	2	
Landscape - Front Yard Trees	2	
Landscape - 5 gallon shrubs/lo	4/12	
Development Standards		
Street ROW Width	50'	
Street Pavement width (BB)	31'	
Sidewalk Width - Internal	5'	
Sidewalk Width - abutting thoroughfare	6'	
Alley ROW	20'	
Alley Pavement	12'	
Wittington Trail Width	10'	
Wittington-Mercer Trail Width	8'	

!! CAUTION !!
 UNDERGROUND UTILITIES ARE LOCATED ON THIS SITE. AT LEAST 48-HOURS PRIOR TO ANY EXCAVATION, CONTACT THE TEXAS EXCAVATION SAFETY SYSTEM (TESS) TO LOCATE ALL UNDERGROUND UTILITIES IN THE AREA.
 1-800-DIG-TESS
 (1-800-344-8377)
 WWW.DIGTESS.ORG

- NOTES**
- ALL EXISTING UTILITIES SHALL BE PLACED UNDERGROUND.
 - ALL PROPOSED WALLS AND SIDEWALK ALIGNMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH LANDSCAPE DRAWINGS AND MAY VARY FROM THOSE SHOWN ON THIS SITE PLAN.

- LEGEND**
- PROPERTY LINE
 - RIGHT-OF-WAY
 - LOT LINE
 - LOT SETBACK
 - WATER MAIN
 - SANITARY SEWER MAIN
 - STORM SEWER LINE
 - MASONRY WALL
 - BARRIER FREE RAMP
 - ORNAMENTAL IRON FENCE

BENCHMARKS

BM #1
 Cross cut on the southwest corner of an inlet on the southerly right-of-way line of Wittington Place, 460' westerly from the center of Chartwell Drive.
 N: 7019962.269 E: 2453438.916 EL: 429.42

BM #2
 Cross cut on the southeast corner of an inlet on the easterly right-of-way line of Luna Road, 510' southerly from the center of Mercer Parkway.
 N: 7018165.770 E: 2452183.369 EL: 431.31

NO.	REVISIONS / SUBMISSIONS	DATE
		NA



Ion Design Group
 7075 Twin Hills Ave
 Suite 350
 Dallas, Texas 75231
 Firm TX F6701
 214.370.3470 Ph

**MERCER CROSSING
 ASHINGTON ADDITION**
 CITY OF FARMERS BRANCH, DALLAS COUNTY, TEXAS

C1.01 SITE PLAN

SEAL	DRAWN	SCALE
	FM	H: 1" = 60'
	CHECKED	FILENAME
	JT	C1.01 SITE PLAN
	REVIEWED	DRAWING NO.
	BK	
	DATE	C1.01
	08.02.2016	
	PROJECT NO.	02 of 07
	6002.00	

LAYOUT: C1.01 SITE PLAN PLOTTED: Thursday, November 3, 2016 11:40:11 AM BY: FRANCISCO P.LI. SCALE: 1:1. SAVED: 11/3/2016 10:10AM BY: FRANCISCO
 Z:\PROJECTS\6002.00 CENTURION MERCER CROSSING C1.01 SITE PLAN.DWG

PROJECT: 6002.00-MERCER CROSSING

LAYOUT: C4.01 - EXISTING DRAINAGE AREA MAP PLOTTED: Thursday, November 3, 2016 11:42:01 AM BY: FRANCISCO PLOTT SCALE: 1:1 SWED: 11/3/2016 9:49AM BY: FRANCISCO
 Z:\PROJECTS\6002.00 CENTURON MERCER B DRAWINGS\C4.01_STORNDWG

!! CAUTION !!
 UNDERGROUND UTILITIES ARE LOCATED ON THIS SITE.
 AT LEAST 48-HOURS PRIOR TO ANY EXCAVATION, CONTACT THE TEXAS EXCAVATION SAFETY SYSTEM (TESS) TO LOCATE ALL UNDERGROUND UTILITIES IN THE AREA.
 1-800-DIG-TESS
 (1-800-344-8377)
 WWW.DIGTESS.ORG



- LEGEND**
- 760--- EXISTING 1' INTERVAL CONTOUR
 - 760- PROPOSED 1' INTERVAL CONTOUR
 - (A1.1) DRAINAGE AREA I.D.
 - (1.00 ac) DRAINAGE AREA ACREAGE
 - LIMITS OF DRAINAGE AREA
 - ← GENERAL DIRECTION OF FLOW

BENCHMARKS

BM #1
 Cross cut on the southwest corner of an inlet on the southerly right-of-way line of Wittington Place, 460' westerly from the center of Chartwell Drive.
 N: 7019962.269 E: 2453438.916 EL: 429.42

BM #2
 Cross cut on the southeast corner of an inlet on the easterly right-of-way line of Luna Road, 510' southerly from the center of Mercer Parkway.
 N: 7018165.770 E: 2452183.369 EL: 431.31

NO.	REVISIONS / SUBMISSIONS	DATE



DRAINAGE AREA TABLE

EXISTING

Drainage Area No.	Area (acres)	C	CA (acres)	Tc (min)	1 100 (in/hr)	Q 100 (cfs)	Drains To
A-1	0.58	0.90	0.53	10	8.74	4.60	Ex. Inlet
A-3	0.59	0.90	0.53	10	8.74	4.64	Ex. Inlet
B-1	0.28	0.90	0.25	10	8.74	2.20	Ex. Inlet
B-2	0.88	0.90	0.79	10	8.74	6.92	Ex. Inlet
B-3	2.02	0.90	1.82	10	8.74	15.89	Ex. Inlet
B-4	0.25	0.90	0.23	10	8.74	1.97	Ex. Inlet
B-5	7.04	0.90	6.34	10	8.74	55.38	Ex. Inlet
B-6	0.49	0.90	0.44	10	8.74	3.85	Ex. Inlet
M-1	0.71	0.90	0.64	10	8.74	5.58	Ex. Inlet
M-2	0.71	0.90	0.64	10	8.74	5.58	Ex. Inlet
M-3	0.52	0.90	0.47	10	8.74	4.09	Ex. Inlet
P-1	0.71	0.90	0.64	10	8.74	5.58	Ex. Inlet
S-1	38.07	0.40	15.23	15	7.52	114.51	Valwood Pond

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**MERCER CROSSING
 ASHINGTON ADDITION**
 CITY OF FARMERS BRANCH, DALLAS COUNTY, TEXAS

C4.01 EXISTING DRAINAGE AREA MAP

SEAL	DRAWN FM	SCALE H: 1" = 150'
	CHECKED JT	FILENAME C4.01 EXISTING DRAINAGE AREA MAP
	REVIEWED BK	DRAWING NO. C4.01
	DATE 08.02.2016	PROJECT NO. 6002.00
		03 of 07

LAYOUT: C4.02 PROPOSED DRAINAGE AREA MAP PLOTTED: Thursday, November 3, 2016 11:42:12 AM BY: FRANCISCO PFI SCALE: 1:1 SAVED: 11/3/2016 9:40AM BY: FRANCISCO
 Z:\PROJECTS\6002.00 CENTURION MERCER CROSSING\DRAWINGS\C4.01 STORMDRAIN

!! CAUTION !!
 UNDERGROUND UTILITIES ARE LOCATED ON THIS SITE.
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 1-800-DIG-TESS
 (1-800-344-8377)
 WWW.DIGTESS.ORG



NOTES

1. DRAINAGE CONTRIBUTES TO STORM LINES PER INFORMATION OBTAINED FROM PRELIMINARY DRAWINGS FOR MERCER POD C, DATED AUGUST 2016.
2. ALL DRAINAGE IS CONVEYED TO EXISTING AND PROPOSED STORM DRAINS ON WITTINGTON PLACE, MERCER PARKWAY EAST, LUNA ROAD, AND POD B.

LEGEND

- 760--- EXISTING 1' INTERVAL CONTOUR
- 760— PROPOSED 1' INTERVAL CONTOUR
- (A1.1) DRAINAGE AREA I.D.
- (1.00 ac) DRAINAGE AREA ACREAGE
- LIMITS OF DRAINAGE AREA
- ← GENERAL DIRECTION OF FLOW

BENCHMARKS

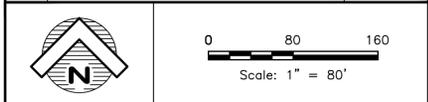
BM #1
 Cross cut on the southwest corner of an inlet on the southerly right-of-way line of Wittington Place, 460' westerly from the center of Chartwell Drive.
 N: 7019962.269 E: 2453438.916 EL: 429.42

BM #2
 Cross cut on the southeast corner of an inlet on the easterly right-of-way line of Luna Road, 510' southerly from the center of Mercer Parkway.
 N: 7018165.770 E: 2452183.369 EL: 431.31

DRAINAGE AREA TABLE

Drainage Area No.	Area (acres)	C	PROPOSED				Drains To
			CA (acres)	Tc (min)	I 100 (in/hr)	Q 100 (cfs)	
A1.1	0.92	0.70	0.65	15	7.52	4.85	Curb Inlet A1.1
A1.2	0.94	0.70	0.66	15	7.52	4.97	Curb Inlet A1.2
A1.3	1.32	0.70	0.93	15	7.52	6.97	Curb Inlet A1.3
A1.4	1.95	0.70	1.36	15	7.52	10.24	Curb Inlet A1.4
A2.1	1.05	0.70	0.74	15	7.52	5.54	Curb Inlet A2.1
A2.2	1.08	0.70	0.76	15	7.52	5.70	Curb Inlet A2.2
B1.1	1.84	0.70	1.29	15	7.52	9.71	Curb Inlet B1.1
B1.2	2.19	0.70	1.53	15	7.52	11.53	Curb Inlet B1.2
B2.1	0.64	0.70	0.44	15	7.52	3.34	Curb Inlet B2.1
B2.2	1.88	0.70	1.31	15	7.52	9.88	Curb Inlet B2.2
C1.1	0.65	0.70	0.45	15	7.52	3.40	Curb Inlet C1.1
C2.1	0.66	0.70	0.46	15	7.52	3.46	Curb Inlet C2.1
M1.1	0.67	0.70	0.47	15	7.52	3.55	Ex. Curb Inlet
M1.2	0.59	0.70	0.41	15	7.52	3.10	Ex. Curb Inlet
M1.3	0.47	0.70	0.33	15	7.52	2.50	Ex. Curb Inlet
W1.1	0.81	0.70	0.57	15	7.52	4.28	Curb Inlet W1.1
W1.2	0.85	0.70	0.60	15	7.52	4.50	Ex. Curb Inlet
W2.1	0.85	0.70	0.60	15	7.52	4.48	Ex. Curb Inlet
L1.1	0.38	0.70	0.26	15	7.52	1.98	Ex. Curb Inlet
L1.2	0.39	0.70	0.28	15	7.52	2.08	Ex. Curb Inlet
L1.3	0.66	0.70	0.46	15	7.52	3.48	Ex. Curb Inlet

NO.	REVISIONS / SUBMISSIONS	DATE



Ion Design Group
 7075 Twin Hills Ave
 Suite 350
 Dallas, Texas 75231
 Firm TX F6701
 214.370.3470 Ph

MERCER CROSSING
ASHINGTON ADDITION
 CITY OF FARMERS BRANCH, DALLAS COUNTY, TEXAS

C4.02 PROPOSED DRAINAGE AREA MAP

SEAL	DRAWN	SCALE
	FM	H: 1" = 80'
	CHECKED	FILENAME
	JT	C4.02 PROPOSED DRAINAGE AREA MAP
	REVIEWED	DRAWING NO.
	BK	C4.02
	DATE	08.02.2016
	PROJECT NO.	6002.00
		04 of 07

!! CAUTION !!
 UNDERGROUND UTILITIES ARE LOCATED ON THIS SITE.
 AT LEAST 48-HOURS PRIOR TO ANY EXCAVATION, CONTACT THE TEXAS EXCAVATION SAFETY SYSTEM (TESS) TO LOCATE ALL UNDERGROUND UTILITIES IN THE AREA.
 1-800-DIG-TESS
 (1-800-344-8377)
 WWW.DIGTESS.ORG

- NOTES**
1. DRAINAGE CONTRIBUTES TO STORM LINES PER INFORMATION OBTAINED FROM PRELIMINARY DRAWINGS FOR MERCER POD C, DATED AUGUST 2016.
 2. ALL DRAINAGE IS CONVEYED TO EXISTING AND PROPOSED STORM DRAINS ON WITTINGTON PLACE, MERCER PARKWAY EAST, LUNA ROAD, AND POD B.
 3. NO MORE THAN 5 CFS RUNOFF FROM ALLEY TO STREET OR ACROSS STREET INTERSECTIONS.
 4. NO RUNOFF SHALL OVERFLOW TOP OF CURB.

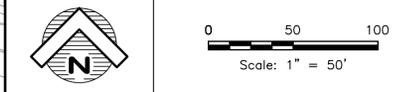
- LEGEND**
- ← FLOW ARROW
 - EXISTING STORM DRAIN
 - - - PROPOSED STORM DRAIN
 - - - EXISTING CONTOUR
 - - - PROPOSED CONTOUR
 - HP PROPOSED HIGH POINT AND ELEVATION

BENCHMARKS

BM #1
 Cross cut on the southwest corner of an inlet on the southerly right-of-way line of Wittington Place, 460' westerly from the center of Chartwell Drive.
 N: 7019962.269 E: 2453436.916 EL: 429.42

BM #2
 Cross cut on the southeast corner of an inlet on the easterly right-of-way line of Luna Road, 510' southerly from the center of Mercer Parkway.
 N: 7018165.770 E: 2452183.369 EL: 431.31

NO.	REVISIONS / SUBMISSIONS	DATE

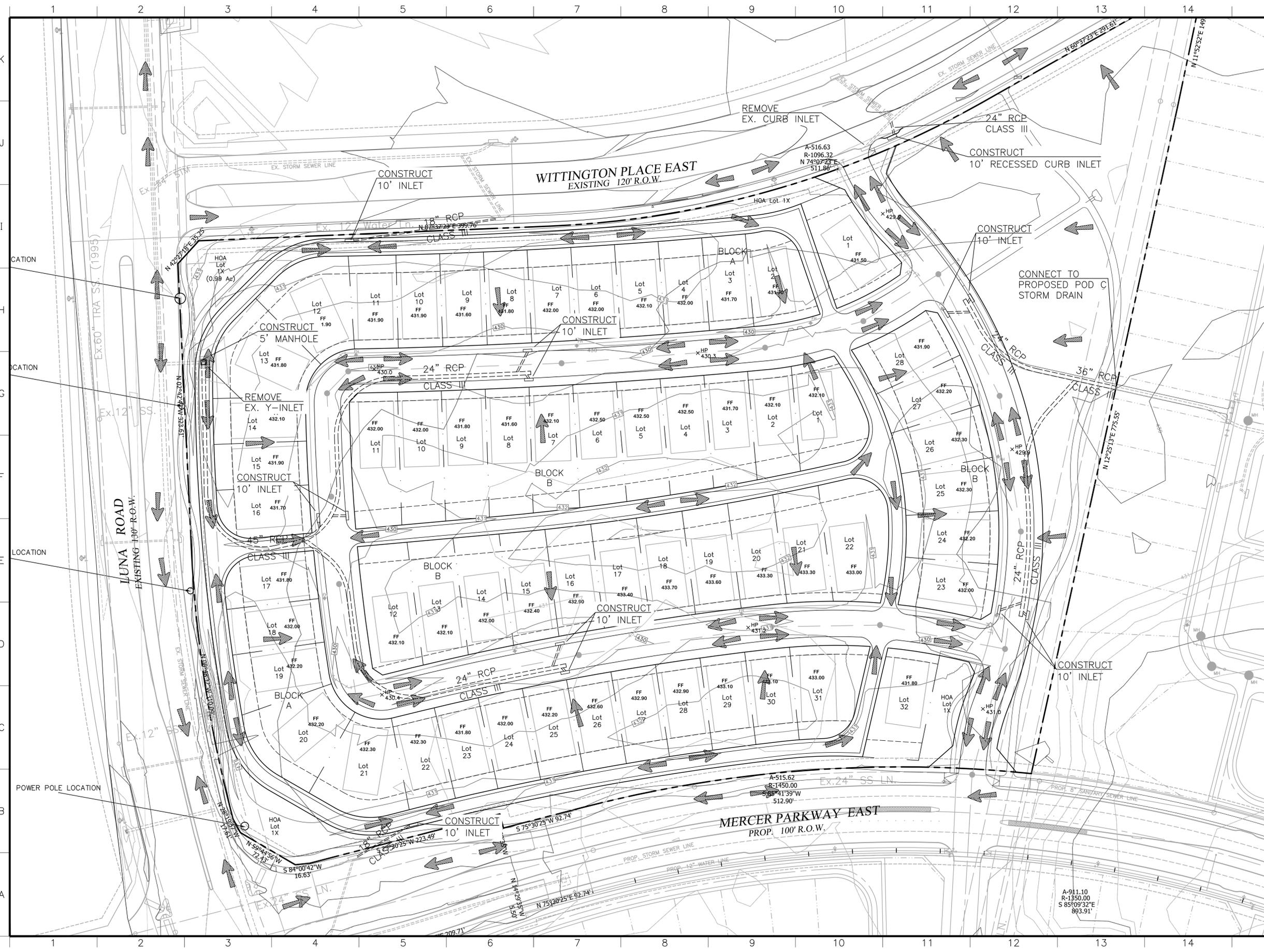


Ion Design Group
 7075 Twin Hills Ave
 Suite 350
 Dallas, Texas 75231
 Firm TX F6701
 214.370.3470 Ph

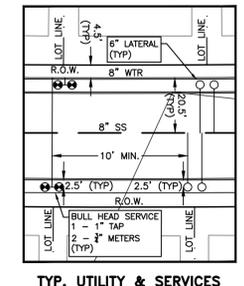
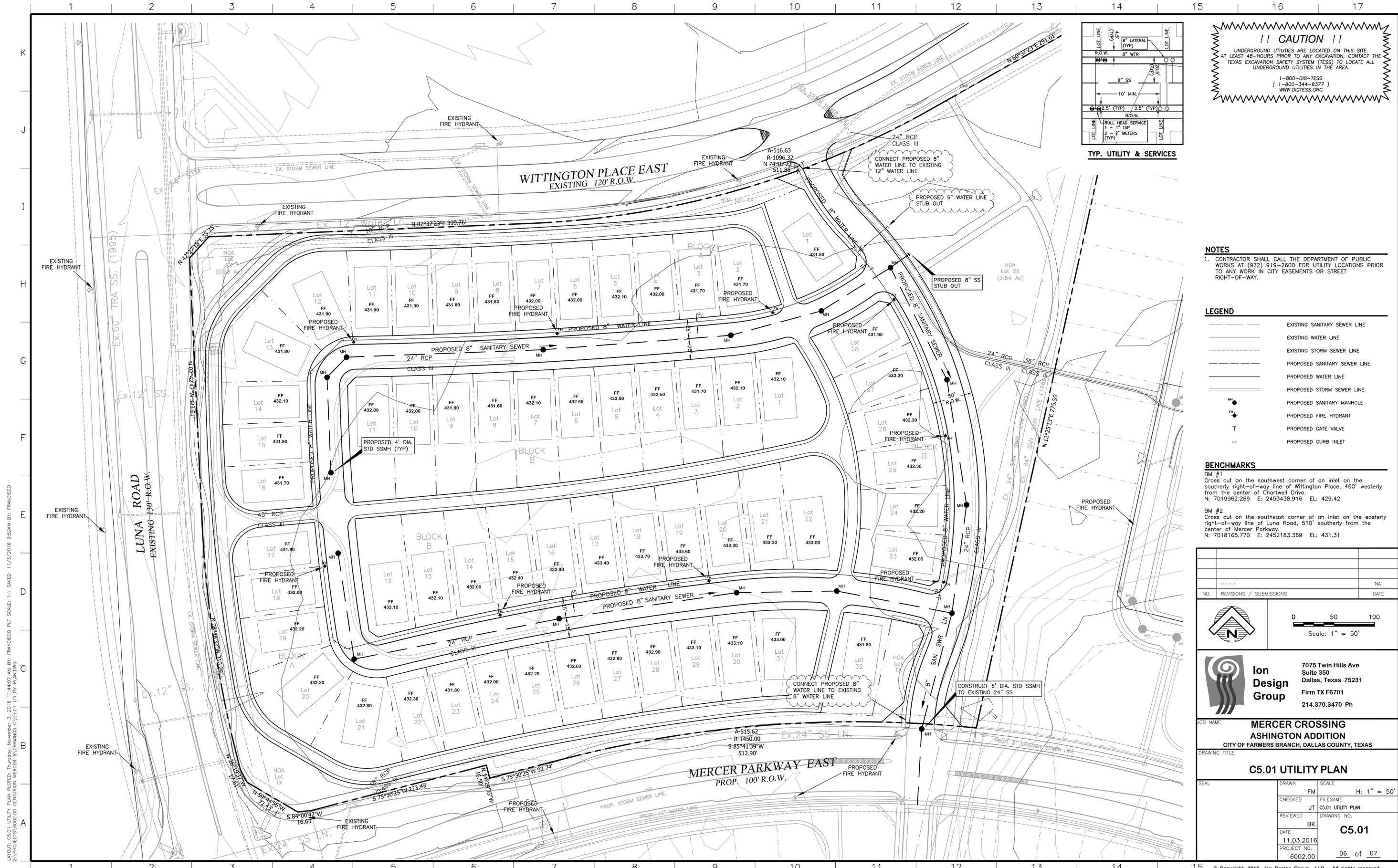
**MERCER CROSSING
 ASHINGTON ADDITION**
 CITY OF FARMERS BRANCH, DALLAS COUNTY, TEXAS

C4.03 STORM SEWER PLAN

SEAL	DRAWN FM	SCALE H: 1" = 50'
	CHECKED JT	FILENAME C4.03 STORM SEWER PLAN
	REVIEWED BK	DRAWING NO. C4.03
	DATE 08.02.2016	PROJECT NO. 6002.00
		05 of 07



LAYOUT: C4.03 STORM SEWER PLAN PLOTTED: Thursday, November 3, 2016, 11:42:22 AM BY: FRANCISCO PLOTT SCALE: 1:1 SWMED: 11/3/2016 9:40AM BY: FRANCISCO
 Z:\PROJECTS\6002.00 CENTURON MERCER B DRAWINGS\C4.01 STORM.DWG



!! CAUTION !!
 UNDERGROUND UTILITIES ARE LOCATED ON THIS SITE. AT LEAST 48-HOURS PRIOR TO ANY EXCAVATION, CONTACT THE TEXAS EXCAVATION SAFETY SYSTEM (TESS) TO LOCATE ALL UNDERGROUND UTILITIES IN THE AREA.
 1-800-DIG-TESS
 (1-800-344-8377)
 WWW.DIGTESS.ORG

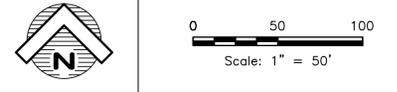
NOTES
 1. CONTRACTOR SHALL CALL THE DEPARTMENT OF PUBLIC WORKS AT (972) 919-2600 FOR UTILITY LOCATIONS PRIOR TO ANY WORK IN CITY EASEMENTS OR STREET RIGHT-OF-WAY.

LEGEND

	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	EXISTING STORM SEWER LINE
	PROPOSED SANITARY SEWER LINE
	PROPOSED WATER LINE
	PROPOSED STORM SEWER LINE
	PROPOSED SANITARY MANHOLE
	PROPOSED FIRE HYDRANT
	PROPOSED GATE VALVE
	PROPOSED CURB INLET

BENCHMARKS
 BM #1
 Cross cut on the southwest corner of an inlet on the southerly right-of-way line of Wittington Place, 460' westerly from the center of Chartwell Drive.
 N: 7019962.269 E: 2453438.916 EL: 429.42
 BM #2
 Cross cut on the southeast corner of an inlet on the easterly right-of-way line of Luna Road, 510' southerly from the center of Mercer Parkway.
 N: 7018165.770 E: 2452183.369 EL: 431.31

NO.	REVISIONS / SUBMISSIONS	DATE
		NA



Ion Design Group
 7075 Twin Hills Ave
 Suite 350
 Dallas, Texas 75231
 Firm TX F6701
 214.370.3470 Ph

MERCER CROSSING ASHINGTON ADDITION
 CITY OF FARMERS BRANCH, DALLAS COUNTY, TEXAS

C5.01 UTILITY PLAN

SEAL	DRAWN	SCALE
	FM	H: 1" = 50'
	CHECKED	FILENAME
	JT	C5.01 UTILITY PLAN
	REVIEWED	DRAWING NO.
	BK	
	DATE	
	11.03.2016	
	PROJECT NO.	
	6002.00	
		C5.01
		.06 of 07

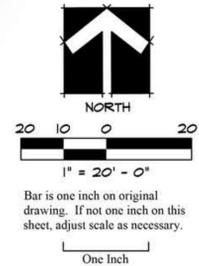
LAYOUT: C5.01 UTILITY PLAN PLOTTED: Thursday, November 3, 2016, 11:44:07 AM BY: FRANCISCO PLOT SCALE: 1:11/3/2016 9:52AM BY: FRANCISCO
 Z:\PROJECTS\6002.00 CENTURION MERCER B\DRAWINGS\C5.01 UTILITY PLAN.DWG

PROJECT: 6002.00-MERCER CROSSING



**ASHINGTON AT
MERCER CROSSING**
~CONCEPTUAL LAYOUT PLAN~
CITY OF FARMERS BRANCH
DALLAS COUNTY, TEXAS

NOTE:
ALL IMPROVEMENTS SHOWN ON
THIS PLAN ARE CONCEPTUAL IN
NATURE & SUBJECT TO CHANGE.



STUDIO 13
DESIGN GROUP

Studio 13 Design Group, PLLC.
386 W. Main Street
Lewisville, Texas 75057
469-635-1900

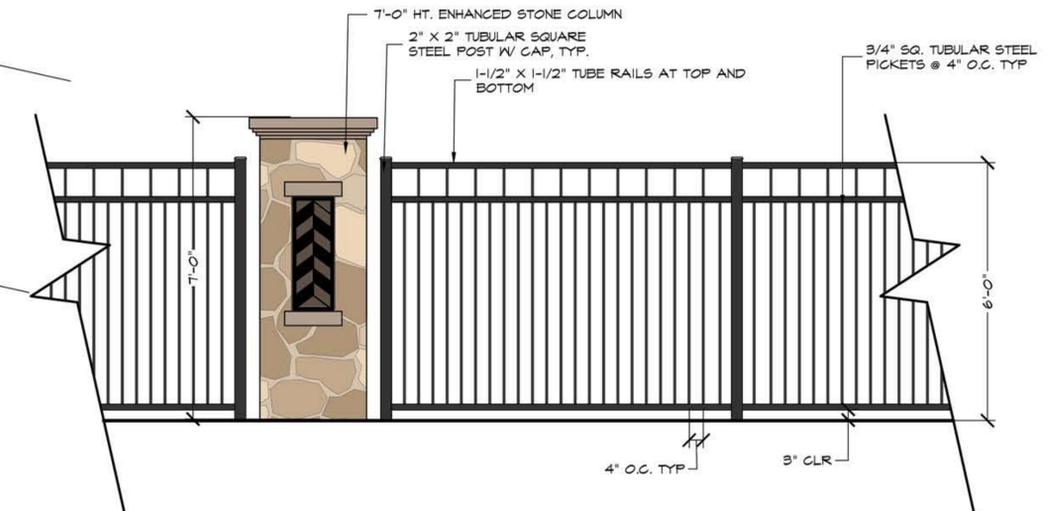
TBAE Firm #BR643



November 4, 2016



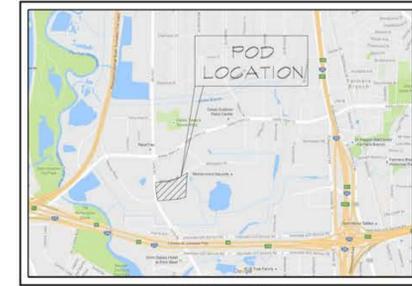
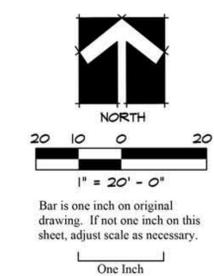
1 COMBO WALL & ORNAMENTAL FENCE ELEVATION
SCALE: 1/2" = 1'-0"



2 6'-0\"/>

**ASHINGTON AT
MERCER CROSSING**
~CONCEPTUAL LAYOUT PLAN~
CITY OF FARMERS BRANCH
DALLAS COUNTY, TEXAS

NOTE:
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THIS PLAN ARE CONCEPTUAL IN
NATURE & SUBJECT TO CHANGE.

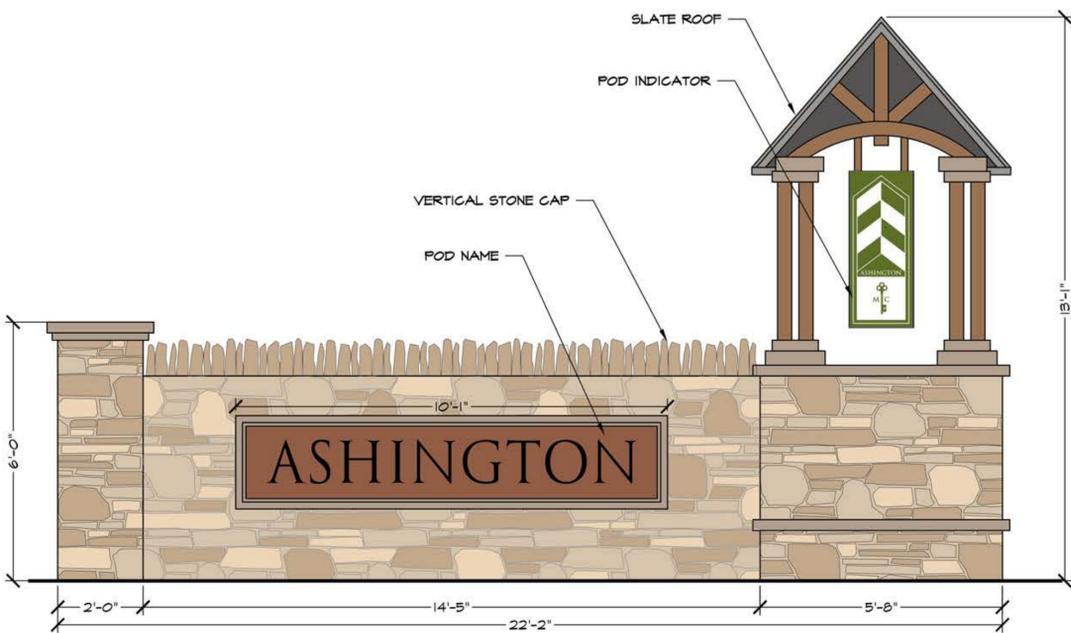


LOCATION MAP
NOT TO SCALE

STUDIO 13
DESIGN GROUP

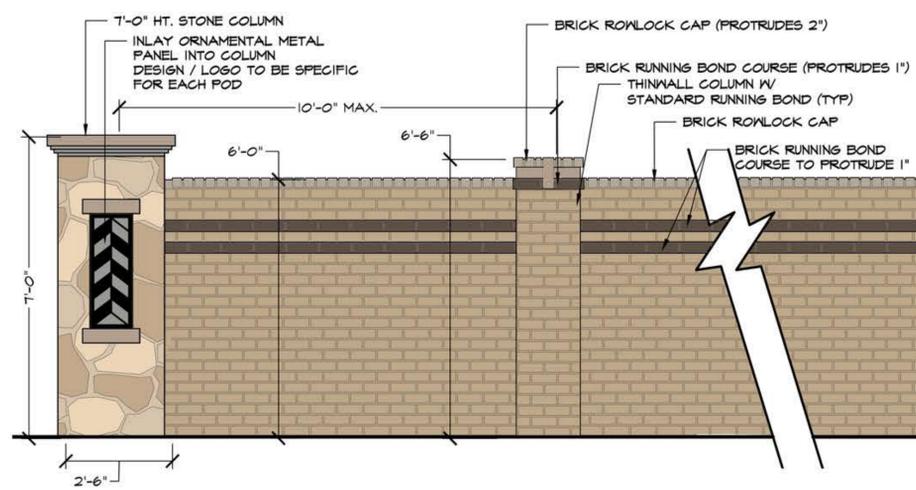
Studio 13 Design Group, PLLC
386 W. Main Street
Lewisville, Texas 75057
469-635-1900
TBAE Firm #BR643





1 DOUBLE-SIDED MONUMENT (BRIGHTON & ASHINGTON) ELEVATION

SCALE: 1/2" = 1'-0"



2 6'-0" HT. BRICK THINWALL W/ COLUMN ELEVATION

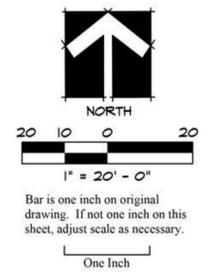
SCALE: 1/2" = 1'-0"

NOTE:
ALL IMPROVEMENTS SHOWN ON THIS PLAN ARE CONCEPTUAL IN NATURE & SUBJECT TO CHANGE.

ASHINGTON AT
MERCER CROSSING
~CONCEPTUAL LAYOUT PLAN~
CITY OF FARMERS BRANCH
DALLAS COUNTY, TEXAS



LOCATION MAP
NOT TO SCALE

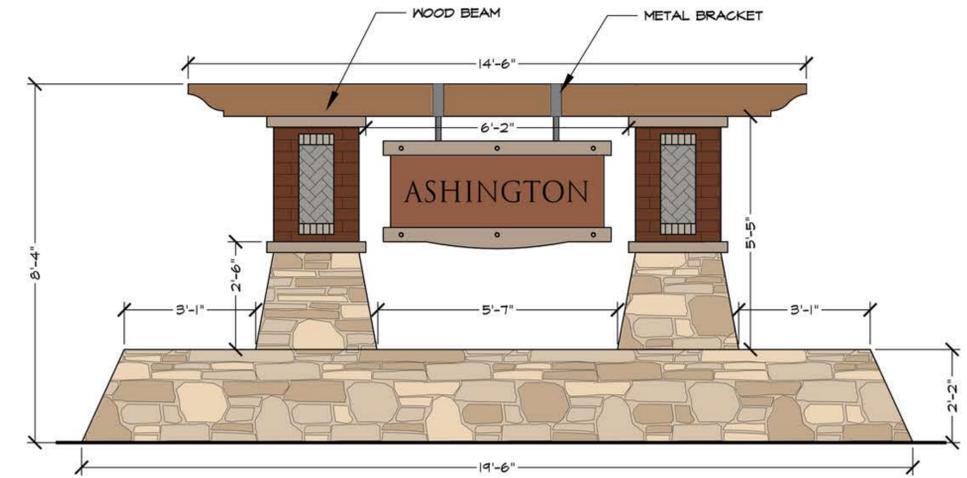


STUDIO 13 DESIGN GROUP

Studio 13 Design Group, PLLC
386 W. Main Street
Lewisville, Texas 75057
469-635-1900

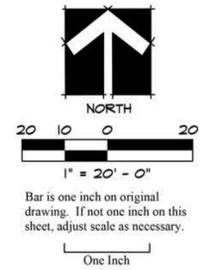
TBAE Firm #BR643





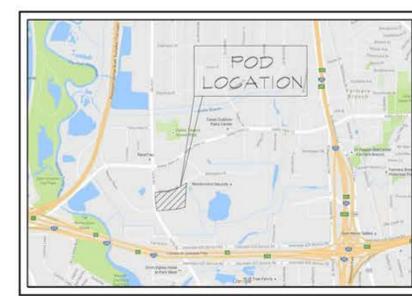
1 PRIMARY ENTRY MONUMENT ELEVATION

SCALE: 1/2" = 1'-0"



NOTE:
ALL IMPROVEMENTS SHOWN ON THIS PLAN ARE CONCEPTUAL IN NATURE & SUBJECT TO CHANGE.

ASHINGTON AT MERCER CROSSING
~CONCEPTUAL LAYOUT PLAN~
CITY OF FARMERS BRANCH
DALLAS COUNTY, TEXAS



LOCATION MAP
NOT TO SCALE

STUDIO 13 DESIGN GROUP

Studio 13 Design Group, PLLC.
386 W. Main Street
Lewisville, Texas 75057
469-635-1900

TBAE Firm #BR643



Leonard W. Reeves
November 4, 2016

COMMERCIAL DISTRICT

WITTINGTON PL

WITTINGTON PL

8'-0" HIKE & BIKE TRAIL

20'-0" R.O.W.

6'-0" HT. BRICK THINWALL REFER TO DETAIL 2 THIS SHEET
7'-0" HT. STONE COLUMN REFER TO DETAIL 2 THIS SHEET

EXISTING TREE TO REMAIN
ASHINGTON ENTRY SIGN REFER TO DETAIL 1 THIS SHEET

HOA Lot 2X (0.127 Ac)

EXISTING TREES TO REMAIN
7'-0" HT. STONE COLUMN REFER TO DETAIL 2 THIS SHEET
6'-0" HT. BRICK THINWALL REFER TO DETAIL 2 THIS SHEET

EXISTING TREES TO REMAIN

6'-0" CONCRETE SIDEWALK

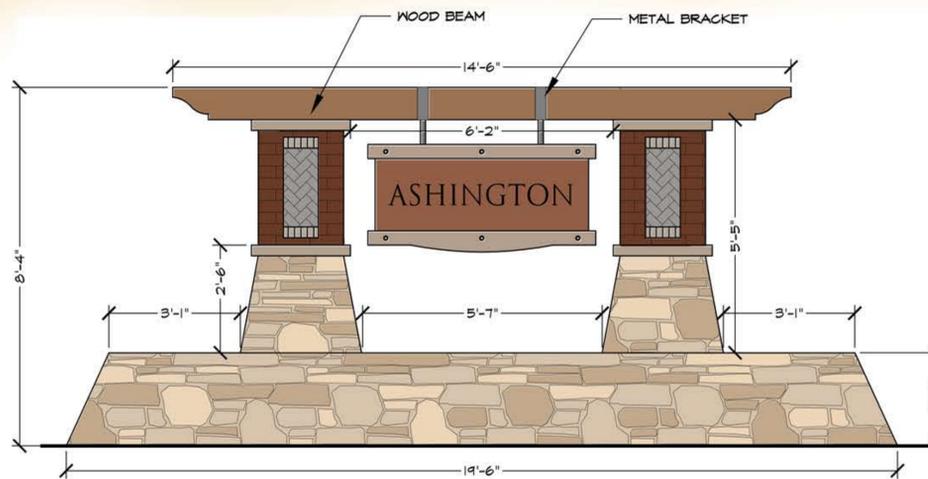
6'-0" CONCRETE SIDEWALK

LUNA ROAD

13

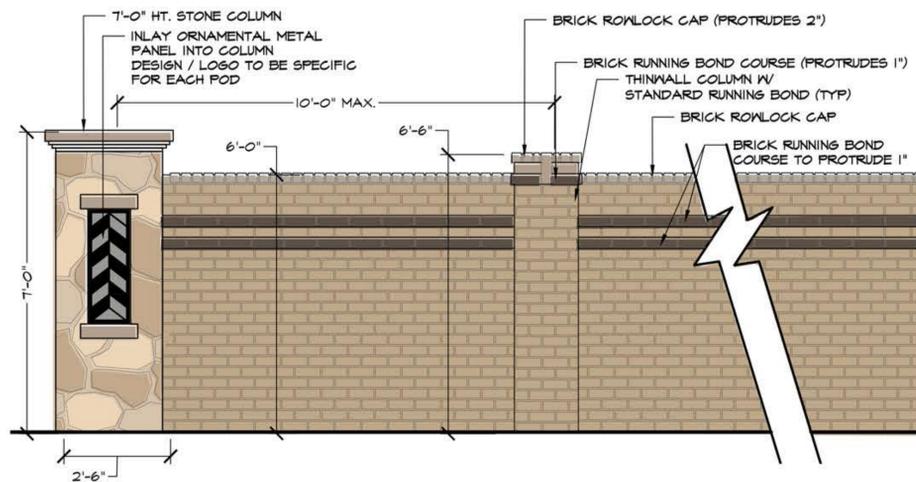
14

15



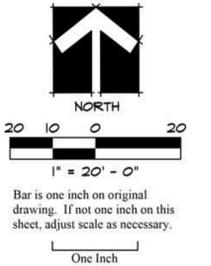
1 PRIMARY ENTRY MONUMENT ELEVATION

SCALE: 1/2" = 1'-0"



2 6'-0" HT. BRICK THINWALL W/ COLUMN ELEVATION

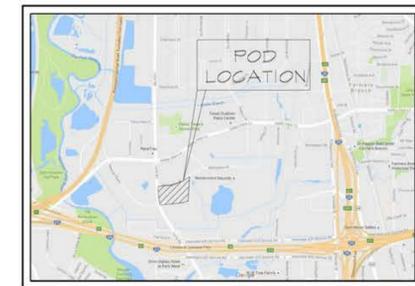
SCALE: 1/2" = 1'-0"



Bar is one inch on original drawing. If not one inch on this sheet, adjust scale as necessary.

ASHINGTON AT MERCER CROSSING
~CONCEPTUAL LAYOUT PLAN~
CITY OF FARMERS BRANCH
DALLAS COUNTY, TEXAS

NOTE:
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LOCATION MAP
NOT TO SCALE

STUDIO 13 DESIGN GROUP

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386 W. Main Street
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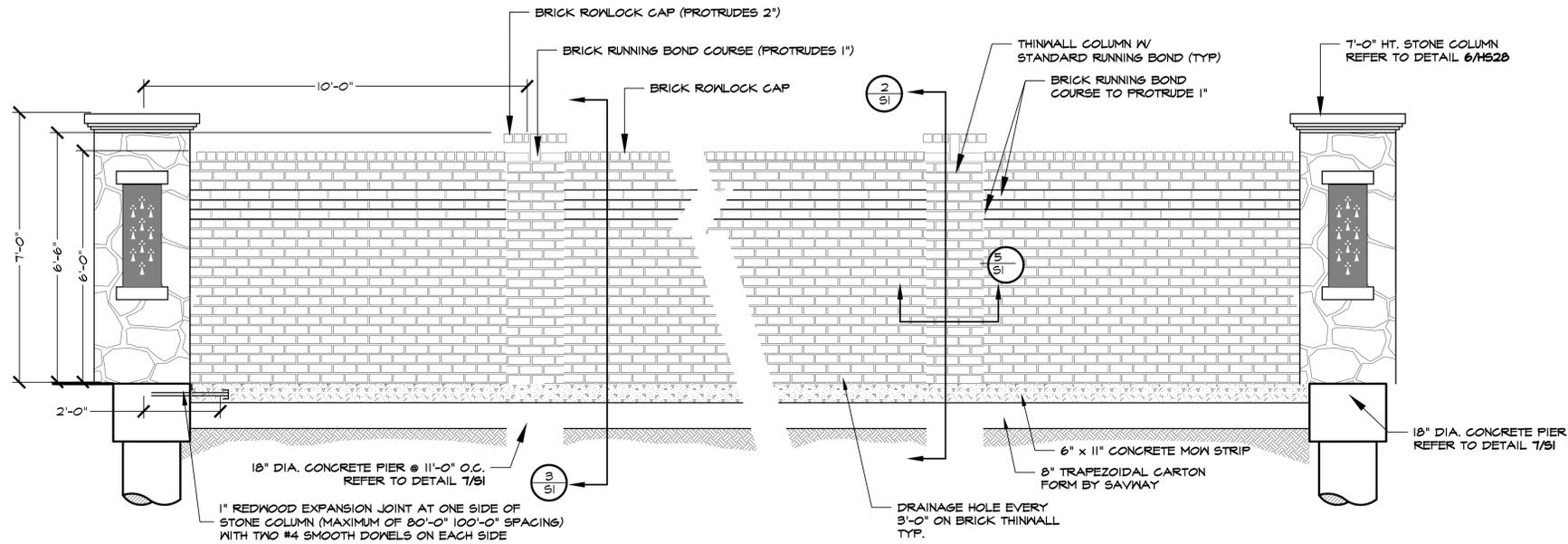
TBAE Firm #BR643



Leonard W. Reeves
November 4, 2016

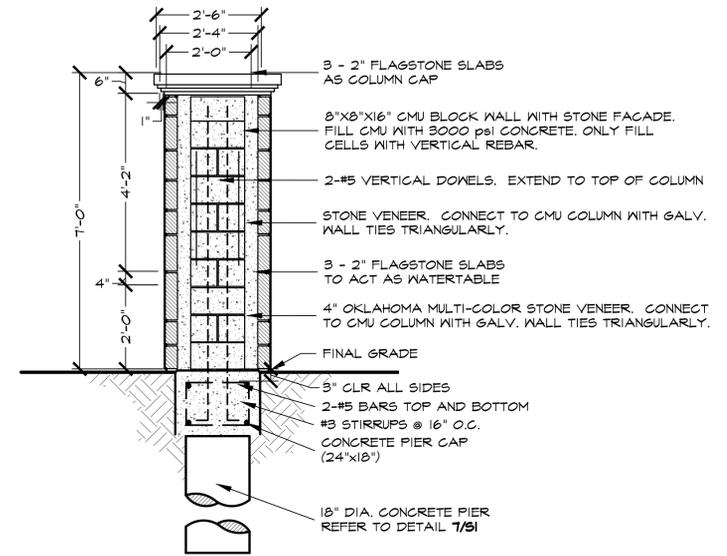
Plotted by: ##### Plot Date: 10/3/2016 3:55 PM

Drawing: S:\Projects\MOR002-Mercer Crossing\DWG\Brighton\MOR002HS-Brighton.dwg Saved By: Colleen Save Time: 10/3/2016 3:53 PM



1 6'-0" HT. BRICK THINWALL
S1 ELEVATION

SCALE: 1/2" = 1'-0"

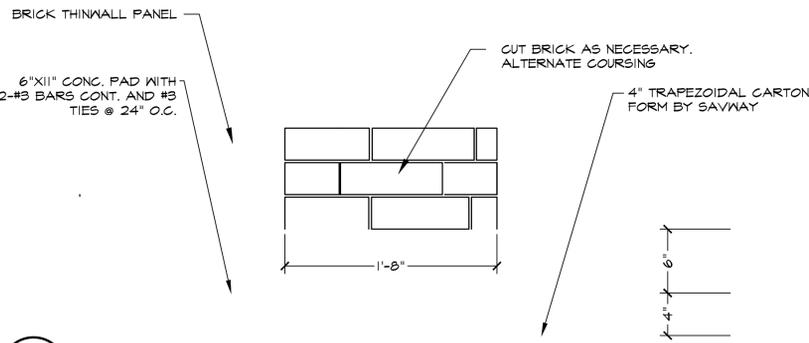


6 7'-0" STONE COLUMN
S1 SECTION

SCALE: 1/2" = 1'-0"

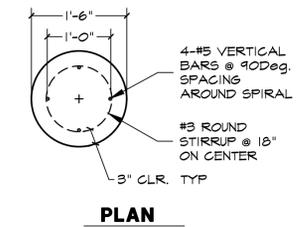
NOTE:
CONCRETE MOW STRIP SHALL BE CONTINUOUS THROUGH BRICK THINWALL COLUMN PIERS. CONTRACTOR SHALL PROVIDE AN EXPANSION JOINT AT EACH ENHANCED STONE COLUMN; NO MORE THAN 50'-0" O.C. MAXIMUM.

NOTE:
CONTRACTOR SHALL PROVIDE WEEP HOLES AND/OR BRICK LEAVE OUTS EVERY 3'-0" O.C. FOR DRAINAGE PURPOSES. OWNER SHALL MAINTAIN THESE OPENINGS TO PREVENT STANDING WATER AND HEAVING OF WALL PANELS.

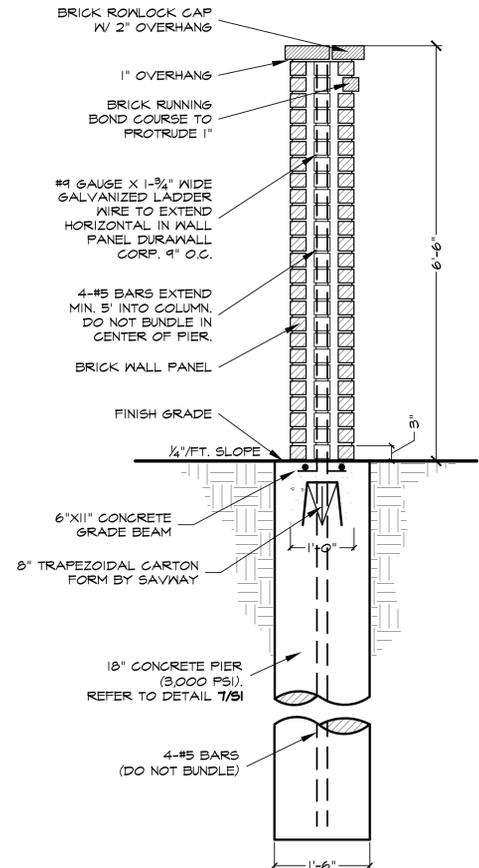


4 THINWALL COLUMN
S1 ELEVATION

SCALE: 1-1/2" = 1'-0"

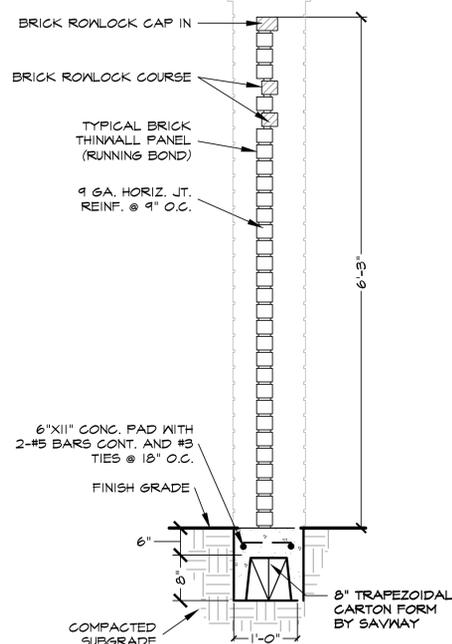


PLAN



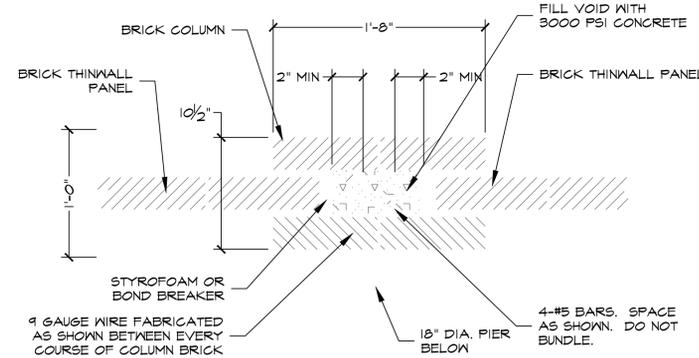
2 THINWALL COLUMN
S1 SECTION

SCALE: 3/4" = 1'-0"



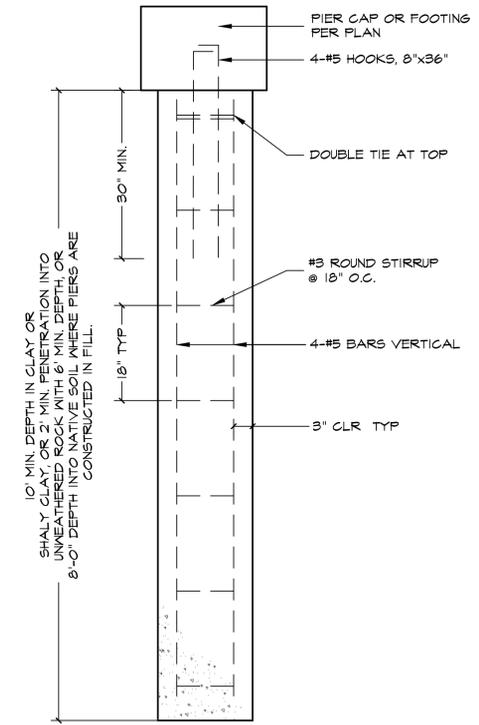
3 ENHANCED BRICK THINWALL PANEL
S1 SECTION

SCALE: 3/4" = 1'-0"



5 THINWALL COLUMN
S1 PLAN/SECTION

SCALE: 1-1/2" = 1'-0"



SECTION

7 PIER (18' DIA.)
S1 PLAN/SECTION

SCALE: 3/4" = 1'-0"

Bar is one inch on original drawing. If not one inch on this sheet, adjust scale as necessary.

PLAN REVIEW REVISIONS	BY	DATE



The brick detailing and standing seam accents make this a great rear entry example.



The above image sets an ideal standard for the Texas Tudor Design theme. The chimney detail, brick patterns, and color palette are all strong architectural elements.



The image above is an excellent variation of the top left elevation. By varying colors of materials the same look can easily be accomplished.



In this image the half timbering and multi-paned windows are the highlighted Texas Tudor elements to replicate.



3.9 CONCEPTUAL ELEVATIONS



There are very few front entry lots in Mercer Crossing, but this is a prime example to be used. The brick details, half timbering inlay reinforce the Texas Tudor style.



This is another great front entry elevation. The intricate detail on the chimney and the use of native materials are the very definition of Texas Tudor.



The multiple Texas Tudor elements include: eyebrow windows, cedar shutters, herringbone brick details, and native building materials.



The above townhome elevation includes Standing seam accents, multi-paned windows, half timbering, and an acceptable color palette.



3.9 CONCEPTUAL ELEVATIONS



City of Farmers Branch

Farmers Branch City Hall
13000 Wm Dodson Pkwy
Farmers Branch, Texas
75234

Staff Report

File Number: TMP-1993

Agenda Date: 11/14/2016

Version: 1

Status: Public Hearing

In Control: Planning and Zoning Commission

File Type: Specific Use Permit

Conduct a public hearing and consider a request from Luna Taps for a Specific Use Permit to allow the sale of alcoholic beverages in a qualified restaurant at 1801 Royal Lane, Suite 700 and take appropriate action.

BACKGROUND:

The applicant, Luna Taps, is requesting a Specific Use permit to allow the sale of alcohol in a qualified restaurant. The site is located within the Planned Development District No 22 (PD-22).

RECOMMENDATION:

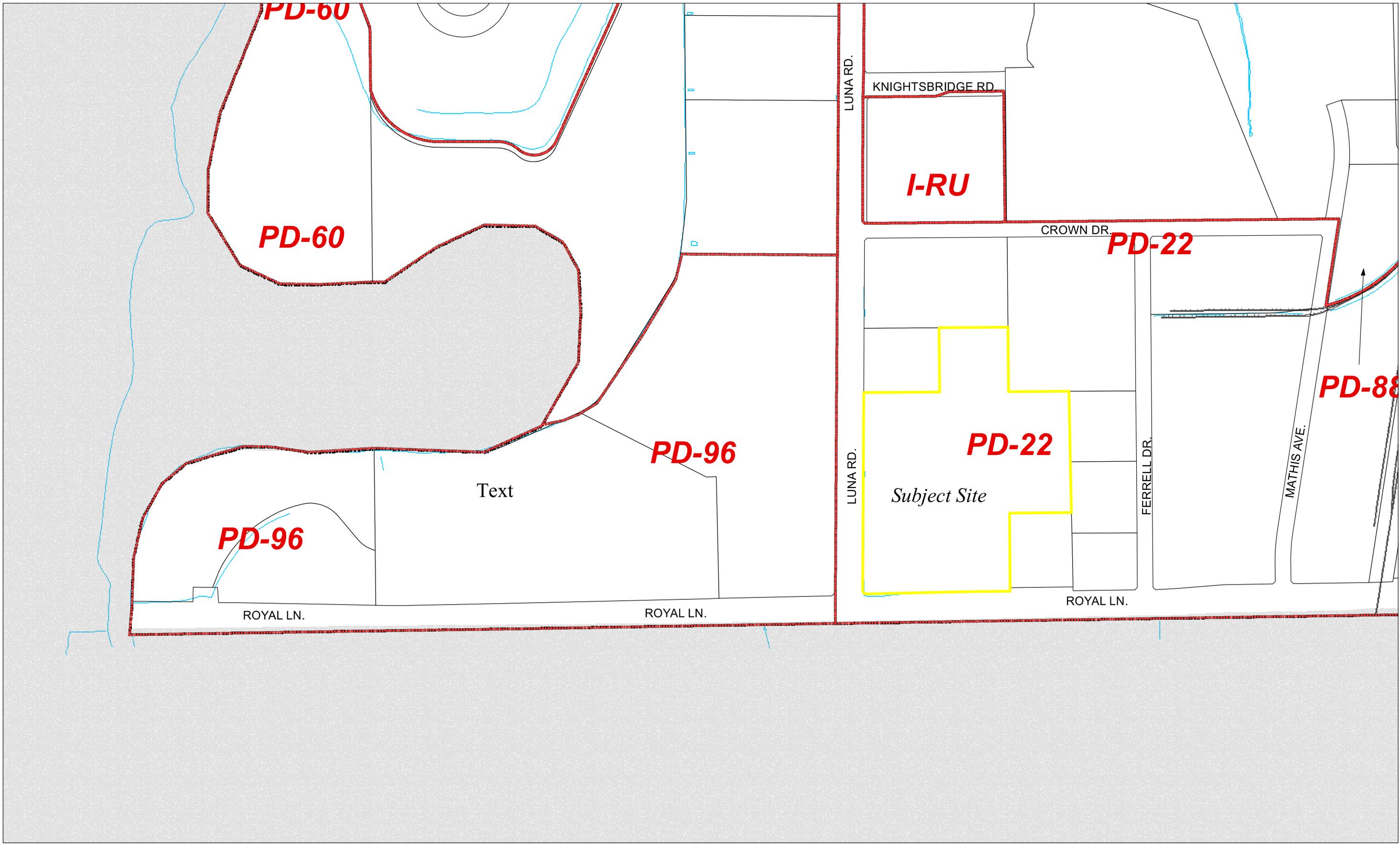
Staff recommends approval of the Specific Use Permit.

ACTIONS:

1. Motion to recommend Approval of the Specific Use Permit as presented at this meeting.
2. Motion to recommend Denial of the Specific Use Permit as presented at this meeting.
3. Motion to recommend Approval of the Specific Use Permit with the following modifications...
4. Motion to continue discussion of this case at the next meeting.

ATTACHMENTS:

1. Location Map
2. Aerial Map
3. Staff Report
4. Alcohol Awareness Program
5. Site Photographs
6. Notification Map
7. Summary of Mailed Notices



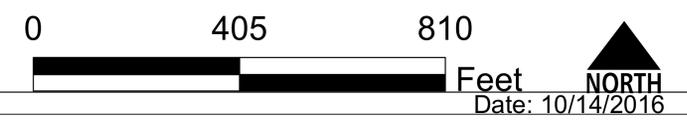
-  Zoning District Boundary
-  Parcel Property Boundaries
-  City Limit

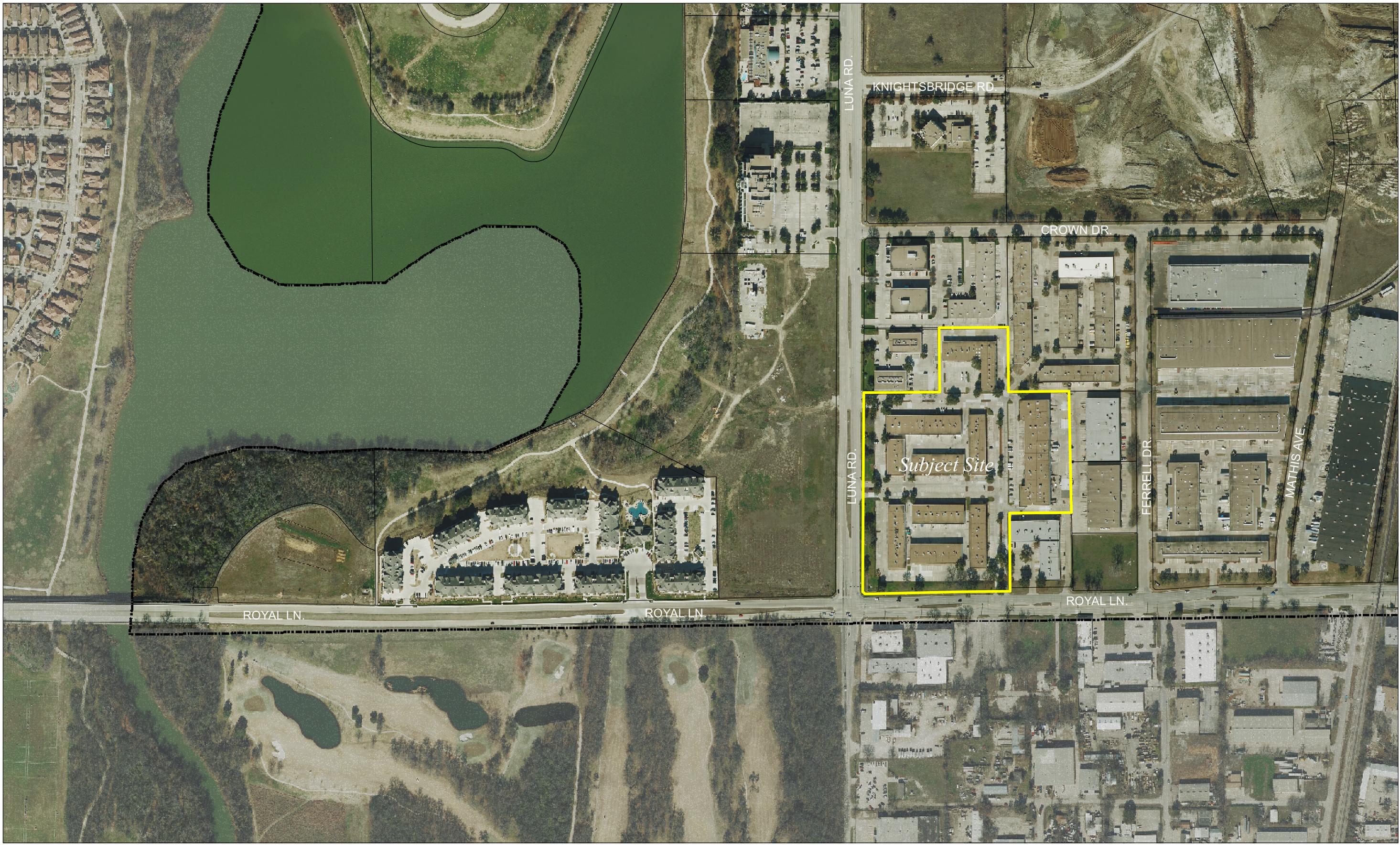
16-SU-17 - Location Map

1801 Royal Lane



Various official and unofficial sources were used to gather this information. Every effort was made to ensure the accuracy of this data, however, no guarantee is given or implied as to the accuracy of said data. For pictorial reference only.





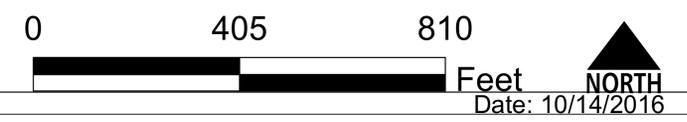
-  Parcel Property Boundaries
-  City Limit

16-SU-17 - Aerial Map

1801 Royal Lane



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STAFF REPORT

Case Number: 16-SU-17
Request: Specific Use Permit for Alcohol Sales within Qualified Restaurant
Address: 1801 Royal Lane, Suite 700
Restaurant Size: 2,882 square feet
Petitioner: Concept Resource Group/Luna Taps

Existing Conditions:

The subject property is located in the Westwood Business Park, which is situated east of Luna Road and north of Royal Lane (See Location Map). Westwood Business Park encompasses thirteen, existing buildings. Each building provides office, commercial or warehouse space. The suites range in size from 1,400 to 17,000 square feet. All of the buildings are one-story masonry structures. The proposed restaurant would be located in Building 7, closest to Luna Road (See Site Plan). Building 7 includes approximately 10,080 square feet. This business park was developed in 1981.

The property is located within the Planned Development No. 22 (PD-22) zoning district. This zoning district allows for a variety of commercial and light industrial land uses. The site is bounded on the south and east by the Westwood Business Park. To the north is the Crown Plaza office building. To the west of the site is the Waters Edge multifamily development.

Proposal/Site Design:

The applicant, Luna Taps, is proposing a new restaurant to serve the large multi-family residential population found in the area. The applicant is also requesting permission to sell alcohol to its customers with their meals. The restaurant would be a “neighborhood bar and grill” concept and would provide a variety of food and drinks.

The proposed restaurant would occupy approximately 2,882 square feet (see Floor Plan). The restaurant would include a kitchen and bar area, as well as indoor and outdoor seating areas. The proposed bar space is approximately 493 square feet, which is 17% of the gross floor space. The indoor seating arrangement includes approximately 78 seats. The restaurant has also proposed a “To-Go” area and entry at the eastern façade. The main entry for the restaurant is on the western corner of the building.

The applicant also is proposing to add two outdoor patio dining areas, along the southern and western portions of the building (see Site Plan). The proposed, southern outdoor patio area would be approximately 440 square feet with a concrete floor. This dining area would allow for 36 additional seats. The patio area will be enclosed with a 3’ tall metal fence and gate. The patio will not be covered but will be partially shaded by an existing tree. In order to create this outdoor patio area, the applicant is proposing to remove three existing parking spaces.

The proposed, western outdoor patio area would be approximately 364 square feet with a concrete floor and a covered “sunbrella” material roof. This dining area would allow for 18 additional seats. The patio area will be enclosed with a 3’ tall metal fence and gate. The total indoor and outdoor seating for the proposed restaurant is approximately 132 seats.

The applicant has proposed the creation of a new 4’ sidewalk. The sidewalk will act as a connection from Luna Road to help create better pedestrian access to the restaurant from the street (see Site Plan.)

Parking:

There are approximately 624 parking spaces which serve the total, existing Westwood Business Park. The city requires a 1:3 seats, parking ratio for restaurants. Therefore, the Luna Taps restaurant is required to provide 44 parking spaces. There are approximately 54 total parking spaces in direct proximity to the restaurant that can be utilized by its patrons (see Site Plan). Dues to the business hours of the restaurant, staff feels there is adequate parking to serve the restaurant use as well as the commercial and office uses located in the business park.

Landscaping:

The applicant plans to install additional landscaping in the parking island along the south end of the building. The landscaping is a combination of shrubs, rocks and native grasses (see Site Plan).

Signs:

Signs proposed for the restaurant consist of three wall signs; one on the west elevation approximately 114 square feet and two on the south elevation approximately 26 and 47 square feet (see Exterior Elevations). The proposed exterior signage complies with the City’s sign ordinance. Per the City’s requirements, the restaurant will not be allowed to advertise on any signage that they sell alcoholic beverages.

Operation:

The restaurant’s hours of operation are Monday through Sunday 11:00 am to midnight.

The applicant has submitted an Alcohol Awareness Program, which establishes a comprehensive alcohol policy for the restaurant. They agree to abide by the City’s requirements for alcohol sales, as well as the Texas Alcoholic Beverage Commission. (See Alcohol Awareness Plan).

Under Ordinance 2768 the following requirements must be met in order for a restaurant to serve alcoholic beverages:

- (a) the bar/holding area does not exceed 20% of a restaurant;
- (b) at least 60% of the total gross sales must be attributable to food and non-alcoholic beverage sales;

- (c) there are no exterior signs or signs visible from the restaurant's exterior advertising the sale of alcoholic beverages;
- (d) there is no drive-in curbside service; and
- (e) an alcohol awareness program is submitted with the application.

The applicant has met all of these above requirements.

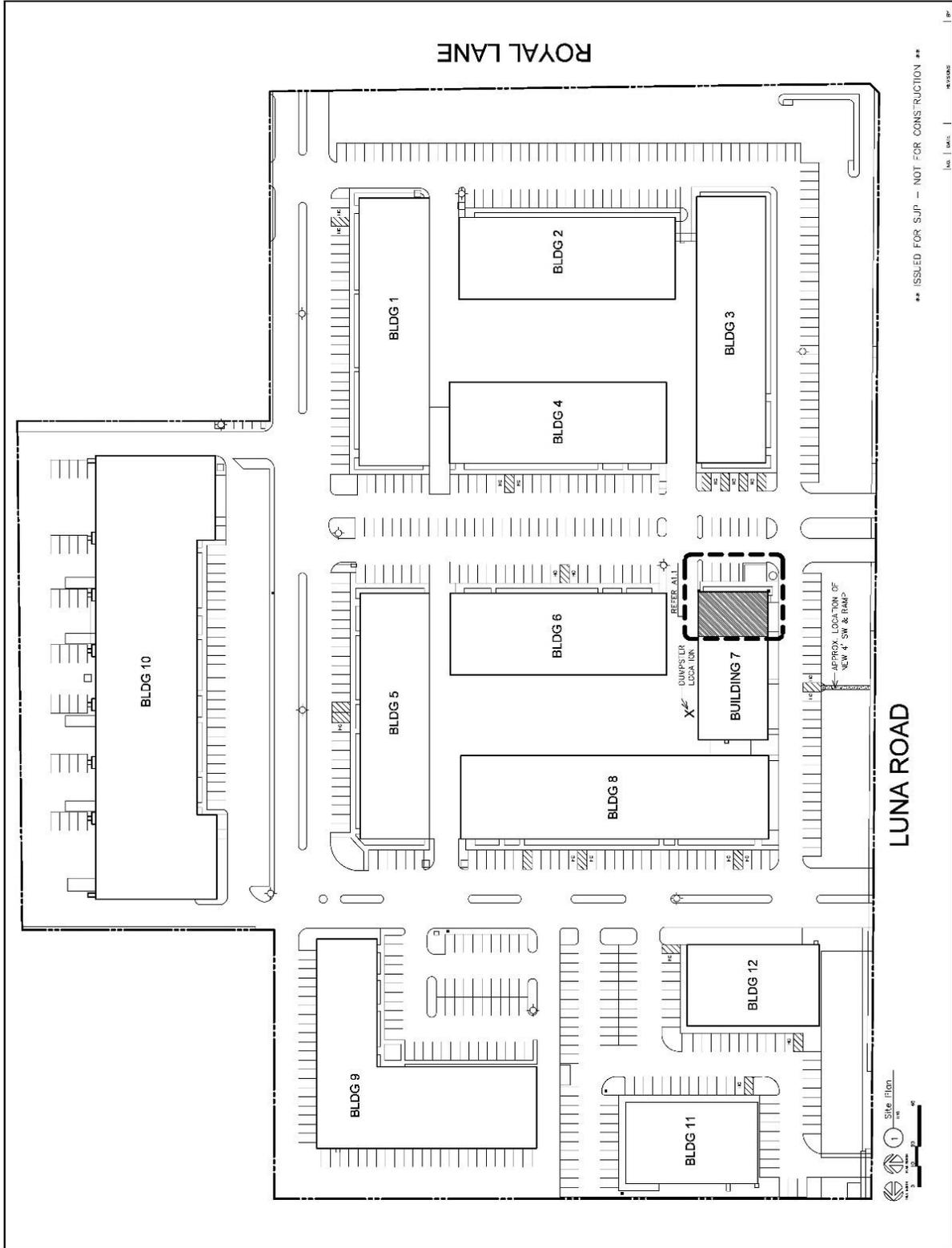
Comprehensive Plan:

The West Side Plan identified the recommended use of the subject property and surrounding area as Light Industrial and Office. The Plan states the restaurant is located within the Industrial Districts regional centers which is desirable for retail and restaurant business. Also given the concentration of multi-family developments in this area, restaurant use is desirable.

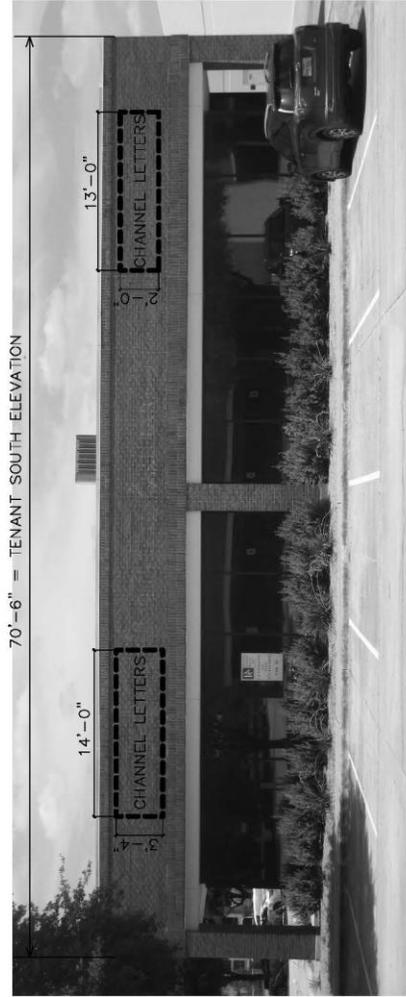
Public Response:

Nine public notification letters were mailed on November 1, 2016. Two zoning notification signs were also posted on the site that same day. As of November 10, 2016 no letters of opposition to this Specific Use Permit request have been received by the City.

SITE PLAN



EXTERIOR ELEVATIONS



1 South Elevation - Schematic

Exterior Signage Calculations for U Zoning

ID	ELEV. SF	10% ELEV. SF	SIGNAGE SF	ALLOWED
SOUTH ELEVATION	743.67 SF	74 SF	73.0 SF	YES
WEST ELEVATION	1139.75 SF	114 SF	93.34 SF	YES



2 West Elevation - Schematic

** ISSUED FOR SUP - NOT FOR CONSTRUCTION **

LUNA TAPS

1801 W. ROYAL LANE

FARMERS BRANCH, TEXAS

Luna taps

Alcohol awareness program

Luna taps requirement for selling alcoholic beverages

- 1. Luna taps will abide by Texas alcoholic beverage code.**
- 2. Luna taps will abide by the Texas penal code**
- 3. Any unlawful acts related to the sale or consumption of alcoholic beverages will be reported to the police.**
- 4. Customers requesting to purchase alcoholic beverages will provide a legal picture ID, of one of the following: current Driver's license, Military ID, State ID or Passport.**
- 5. All customers purchasing alcoholic beverages must be at least 21 years of age.**
- 6. All Luna taps staff that directly or indirectly handles alcoholic beverages will be at least 21 years of age.**
- 7. Servers will be required to take the TABC Seller Training Program.**
- 8. Alcoholic beverages will only be served inside the restaurant premises and the restaurant designated patio area.**
- 9. Anyone that is, or is believed to be intoxicated will not be served alcoholic beverages.**
- 10. Luna taps will make every effort to call a cab for anyone who is intoxicated.**
- 11. No firearms will be allowed inside Luna taps**

- 12. Luna taps will not hang exterior signs advertising the sale of alcohol.**
- 13. Luna taps gross sale of food shall be at least 60% of the gross sales for each quarterly reporting period.**
- 14. Luna taps shall maintain and keep records necessary to demonstrate compliance with the minimum 60% food and non-alcoholic beverage sales of the restaurants total gross receipts.**

SITE PHOTOGRAPHS







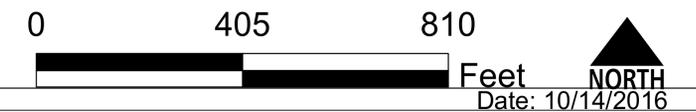
-  Parcel Property Boundaries
-  City Limit

16-SU-17 - Notification Map

1801 Royal Lane



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Summary of Mailed Notices
Property Owner List
16-SU-17
1801 Royal Lane, Suite 700

Map	First Name	Address	City	State	Zip	Written Response
1	PSBP WESTWOOD LP	701 WESTERN AVE	GLENDALE	CALIFORNIA	91201	NA
2	LARSON CAPITAL FUND III LLC	1015 CORPORATE SQUARE DR	SAINT LOUIS	MISSOURI	63132	NA
3	PAR CAPITAL WESTWOOD LLC	6012 W CAMPUS CIR DR STE 210	IRVING	TEXAS	75063	NA
4	RIVERBEND DFW INDUSTRIAL	5055 KELLER SPRINGS RD STE 300	ADDISON	TEXAS	75001	NA
5	RIVERBEND DFW INDUSTRIAL	5055 KELLER SPRINGS RD STE 300	ADDISON	TEXAS	75001	NA
6	PAR CAPITAL WESTWOOD LLC	6012 W CAMPUS CIR DR STE 210	IRVING	TEXAS	75063	NA
7	DALLAS FLEX LLC	40 WEST 5TH ST	NEW YORK	NEW YORK	10019	NA
8	DHS REAL ESTATE GROUP LLC	3010 LBJ FWY STE 736	DALLAS	TEXAS	752342	NA
9	WATERS EDGE APARTMENTS PHASE II LLC	101 METRO DR STE 325	SAN JOSE	CALIFORNIA	95110	NA